

TEAMSTERS LOCAL 2727 BUILDING ADDITION

TEAMSTERS LOCAL 2727
4810 N Preston Hwy
Shepherdsville, KY



Local 2727

DRAWING INDEX

DESIGN TEAM

ARCHITECT

TowerPinkster
Architecture · Engineering · Interiors

320 PEARL, SUITE 100
NEW ALBANY, INDIANA 47150
PHONE: 812.282.9554

MECHANICAL ENGINEER

TowerPinkster
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242 E. KALAMAZOO AVE, SUITE 100
KALAMAZOO, MI 49007
PHONE: 269.343.6133

STRUCTURAL ENGINEER

TowerPinkster
Architecture · Engineering · Interiors

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GRAND RAPIDS, MI 49503
PHONE: 616.456.9944

ELECTRICAL ENGINEER

TowerPinkster
Architecture · Engineering · Interiors

242 E. KALAMAZOO AVE, SUITE 100
KALAMAZOO, MI 49007
PHONE: 269.343.6133

CIVIL CONSULTANT

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CORNERSTONE
2214 PLANTSIDE DRIVE
LOUISVILLE, KY 40299
PHONE: 502.493.2717

GENERAL

G 001 COVER SHEET
G 002 TYPICAL SYMBOLS AND REFERENCES, ABBREVIATIONS, AND DEVICE ALIGNMENT GUIDELINES
G 101 CODE COMPLIANCE PLAN

SURVEY

SP 1 PLAT OF SURVEY

CIVIL

C000 COVER SHEET
C001 GENERAL NOTES
C100 EXISTING CONDITIONS & DEMOLITION PLAN
C200 SITE LAYOUT
C300 GRADING PLAN
C400 EPSC PLAN
C600 CIVIL DETAILS

STRUCTURAL GENERAL

SG 001 STRUCTURAL GENERAL NOTES
SG 002 TYPICAL STRUCTURAL DETAILS
SG 003 TYPICAL STRUCTURAL DETAILS

STRUCTURAL

S 101 FOUNDATION PLAN
S 201 ROOF FRAMING PLAN
S 301 FOUNDATION AND FRAMING DETAILS

ARCHITECTURAL DEMOLITION

AD 101 DEMOLITION FLOOR PLAN
AD 102 DEMOLITION ROOF PLAN
AD 201 DEMOLITION REFLECTED CEILING PLAN

ARCHITECTURAL

A 100 OVERALL FLOOR PLAN
A 101 FLOOR PLAN - ADDITION
A 102 OVERALL ROOF PLAN
A 201 REFLECTED CEILING PLAN - ADDITION
A 301 EXTERIOR ELEVATIONS
A 311 BUILDING SECTIONS
A 321 WALL SECTIONS AND DETAILS
A 322 WALL SECTIONS AND DETAILS
A 401 ENLARGED TOILET ROOM PLANS, BARRIER-FREE DETAILS, TYPICAL MOUNTING HEIGHTS, ETC. AND INTERIOR ELEVATIONS
A 501 DOOR SCHEDULES

INTERIORS GENERAL

IG 001 TYPICAL SYMBOLS & GENERAL NOTES
IG 002 MATERIAL SELECTION SCHEDULE & WINDOW TREATMENT SCHEDULE

INTERIORS

I 101 FINISH PLAN - ADDITION

MECHANICAL & PLUMBING GENERAL

MG 001 MECHANICAL & PLUMBING GENERAL NOTES, ABBREVIATIONS, AND SYMBOLS

PLUMBING

P 001 OVERALL FOUNDATION PLUMBING PLAN
P 100 OVERALL FIRST FLOOR PLUMBING PLAN
P 101 PLUMBING PLAN - ADDITION
P 501 PLUMBING SCHEDULES AND DETAILS

MECHANICAL DEMOLITION

MD 101 FIRST FLOOR MECHANICAL DEMOLITION PLAN - ADDITION



MECHANICAL

M 101 FIRST FLOOR SHEET METAL PLAN - ADDITION
M 501 MECHANICAL SCHEDULES AND DETAILS

ELECTRICAL - GENERAL

EG 001 ELECTRICAL SYMBOLS AND GENERAL NOTES

ELECTRICAL SITE

ES 101 ELECTRICAL SITE PLAN

ELECTRICAL DEMOLITION

ED 101A ELECTRICAL DEMOLITION PLAN - ADDITION

ELECTRICAL

E 101A POWER PLAN - ADDITION
E 201A LIGHTING PLAN - ADDITION
E 301 OVERALL FIRE ALARM PLAN
E 401 ELECTRICAL ONE-LINE DIAGRAM AND SCHEDULES
E 402 ELECTRICAL CONNECTION SCHEDULES
E 421 LIGHTING SCHEDULES AND DETAILS

OWNER AND SITE ADDRESS

TEAMSTERS LOCAL 2727
4810 N PRESTON HWY
SHEPHERDSVILLE, KENTUCKY
PHONE: 502.239.0990

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DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

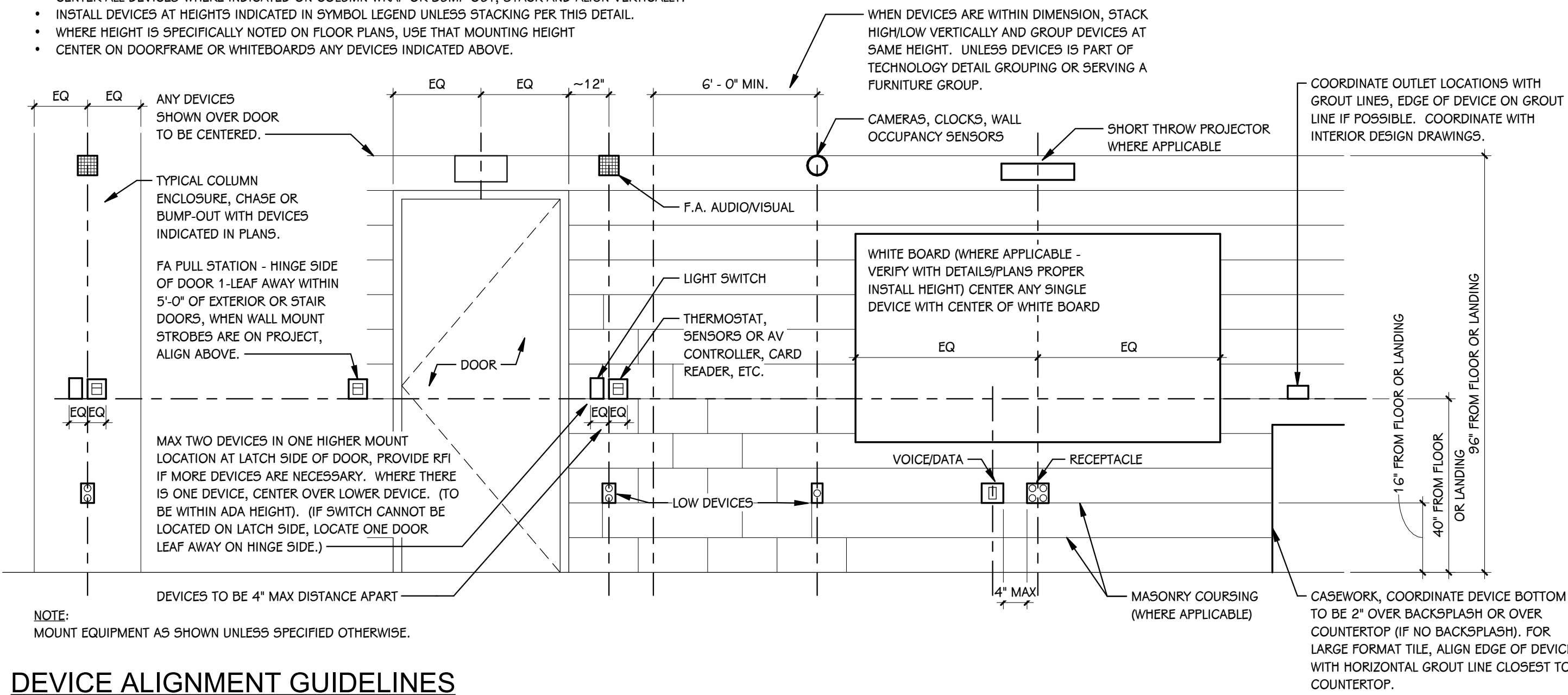
DATE
JANUARY 9, 2026

SHEET TITLE
COVER SHEET

SHEET NUMBER
G 001
25-376.000

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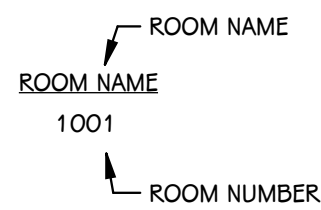
- ALIGNMENT NOTES
- ALIGN AND LOCATE CLOSE TOGETHER ANY DEVICES INSTALLED WITHIN 6" HORIZONTALLY.
 - CENTER ALL DEVICES WHERE INDICATED ON COLUMN WRAP OR BUMP OUT; STACK AND ALIGN VERTICALLY.
 - INSTALL DEVICES AT HEIGHTS INDICATED IN SYMBOL LEGEND UNLESS STACKING PER THIS DETAIL.
 - WHERE HEIGHT IS SPECIFICALLY NOTED ON FLOOR PLANS, USE THAT MOUNTING HEIGHT
 - CENTER ON DOORFRAME OR WHITEBOARDS ANY DEVICES INDICATED ABOVE.



DEVICE ALIGNMENT GUIDELINES
SCALE: NONE

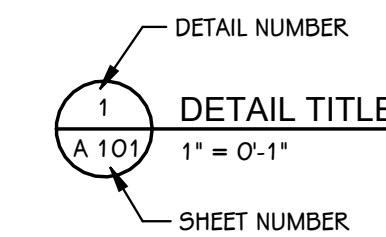
TYPICAL SYMBOLS AND REFERENCES

ROOM IDENTIFICATION TAG

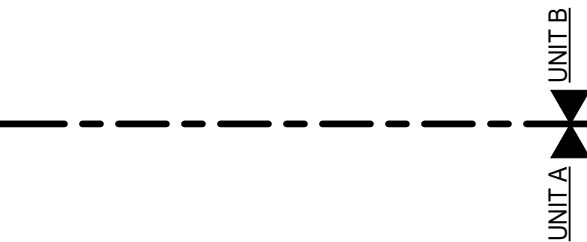


NOTE:
ROOM NAMES AND NUMBERS ON PLANS ARE FOR CONSTRUCTION PURPOSES ONLY. COORDINATE WITH OWNER REGARDING PROPOSED NUMBERS FOR ALL SIGNAGE, SCHEDULE AND PANEL DESIGNATIONS.

DETAIL TITLE

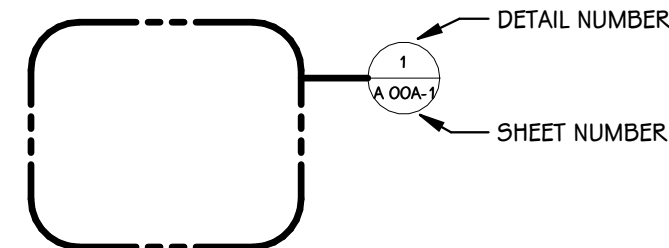


UNIT MATCHLINES

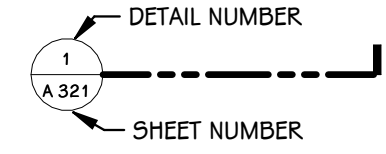


TYPICAL NOTATION SYMBOLS

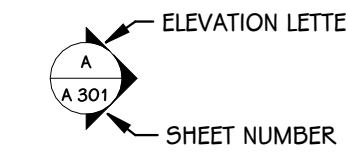
DETAIL REFERENCE BUBBLE



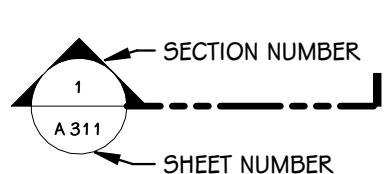
DETAIL REFERENCE BUBBLE



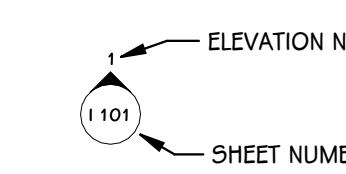
EXTERIOR ELEVATION REFERENCE BUBBLE



BUILDING SECTION REFERENCE BUBBLE

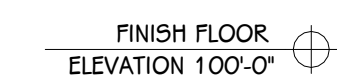


INTERIOR ELEVATION REFERENCE BUBBLE

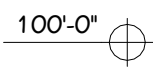


ELEVATION AND SECTION REFERENCE SYMBOLS

ELEVATION TAG - EXISTING



ELEVATION TAG FOR EXTERIOR ELEVATIONS AND BUILDING SECTIONS

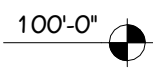


ELEVATION TAG FOR FLOOR PLANS AND REFLECTED CEILING PLANS

ELEVATION TAG - NEW

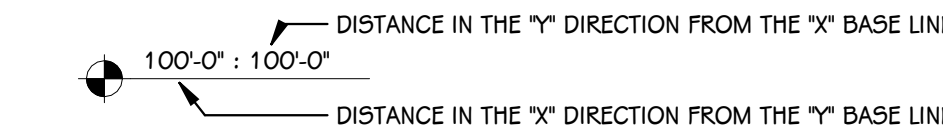


ELEVATION TAG FOR EXTERIOR ELEVATIONS AND BUILDING SECTIONS

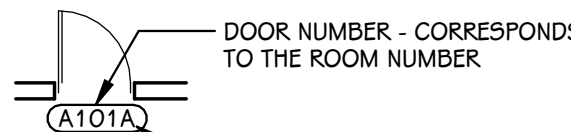
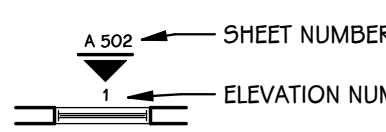


ELEVATION TAG FOR FLOOR PLANS AND REFLECTED CEILING PLANS

WORKING POINT LAYOUT TAG



BORROWED LIGHT AND DOOR IDENTIFICATION

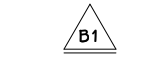


LETTER DESIGNATES MORE THAN ONE IN ROOM

SYMBOLS



BARRIER-FREE



REVISION IDENTIFIER (ADDENDUM AND BULLETIN)



COLUMN BUBBLE AND LINE

LIST OF ABBREVIATIONS

ACP	ACOUSTICAL PANEL CEILING
ABF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
CFMF	COLD FORMED METAL FRAMING
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
DCMU	DECORATIVE CONCRETE MASONRY UNIT
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
FE	FIRE EXTINGUISHER
PEC	FIRE EXTINGUISHER CABINET
FRT	FIRE RESISTANT TREATED
FV	FIELD VERIFY
GYP BD	GYPSUM BOARD
HML	HOLLOW METAL
LVL	LAMINATED VENEER LUMBER
MCM	METAL COMPOSITE MATERIAL WALL PANEL
OC	ON CENTER
PT	PRESERVATIVE TREATED
PNT	PAINT
SS	STAINLESS STEEL
SSM	SOLID SURFACE MATERIAL
TYP	TYPICAL
VIF	VERIFY IN FIELD
WD	WOOD

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

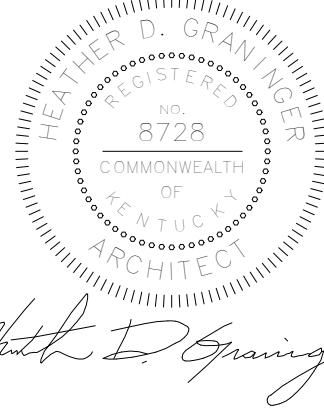
SHEET TITLE
TYPICAL SYMBOLS AND REFERENCES,
ABBREVIATIONS, AND DEVICE
ALIGNMENT GUIDELINES

DATE
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G 002
25-376.000

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DATE



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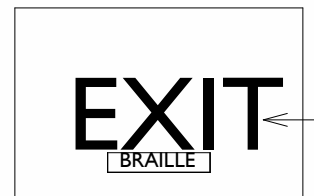
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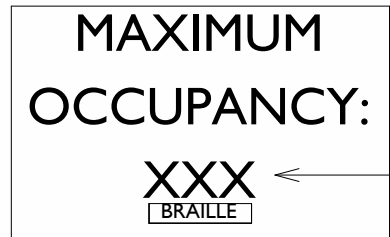
ROOM NAME IDENTIFICATION SIGN
6-1/2"W x 9"H
TYPE "A"



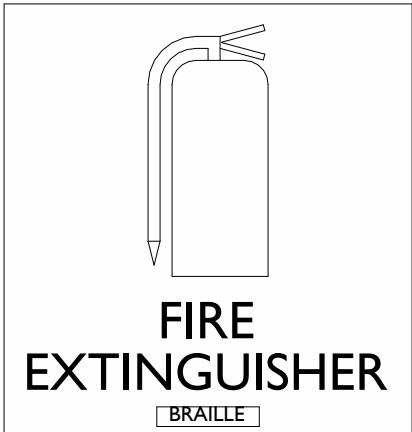
RESTROOM IDENTIFICATION SIGN
6-1/2"W x 9"H
TYPE "B"



TACTILE EXIT SIGN
6"W X 4"H
TYPE "C"
MOUNT AT DOORS 100 AND 101

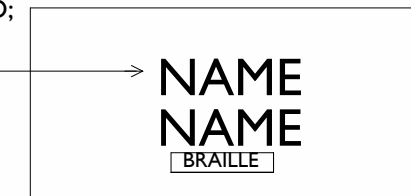


MAXIMUM OCCUPANCY TYPE
8"W X 5"H
TYPE "D"
MOUNT IN MEETING ROOM 100



FIRE EXTINGUISHER SIGN
8-1/2"W x 9"H
TYPE "E"
MOUNT IN SERVICE AREA 101

TEXT CENTERED,
TEXT TO BE
DETERMINED



ROOM NAME IDENTIFICATION SIGN
8"W X 4"H
TYPE "F"
MOUNT AT DOOR TO MECHANICAL 104

INTERIOR SIGNAGE ELEVATIONS

3" = 1'-0"

CODE REVIEW

UNION 2727	B, A3	KBC, 303.4, 304
Use Occupancy, unseparated	V-B	KBC 602.5
Construction Type	None	
Sprinklers	200'	KBC Table 1017.2
Max Allow Travel Distance	75'	KBC Table 1006.2.1
Max Common Path of Egress	20'	KBC 1020.4
Max Dead End Corr Length	40'	KBC Table 504.3
Max Allowable Height	28'	
Allowable Area	Occ. B - 9,000 sf	KBC Table 506.2
	Occ. A3 - 6,000 sf	
Non-separated Occupancy most stringent is A3	6,000 sf	KBC Table 506.2

Area Increase Calc Allowed = 6000 sf +(6000 sf x .75)+(0) = 10,500 sf

AREA SUMMARY

Existing Area	= 4725 sf (Gross)
New Addition	= 2700 sf (Gross)
Actual Area	= 7,425 sf (Gross)

OCCUPANCY COUNT

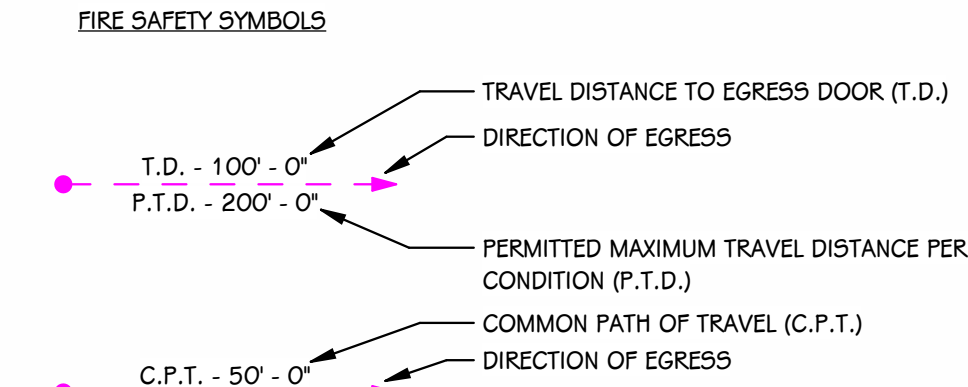
Business Area Gross 4536 sf / 100 sf per occupant = 46 occupants

Assembly Area Seats = 120 occupants
166 occupants

Fixture Count	Business	2 per 23 male	=	2 Water Closets
		2 per 23 female	=	2 Water Closets
				4 Provided (existing)
	A3 Assembly	1 per 100 male	=	1 Water Closet
		1 per 50 female	=	2 Water Closets
				4 Provided

Parking Space Requirement
Zone B-2 Required 1 per 200sf
Actual Area 7,425/200 = 37 spaces total required
44 spaces total provided

CODE COMPLIANCE KEY



MAIN EGRESS EXIT
XX' / XXX'

FIRE SAFETY SYMBOLS

XFE	EXISTING FIRE EXTINGUISHER
XFEC	EXISTING FIRE EXTINGUISHER CABINET
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
AED	AUTOMATED EXTERNAL DEFIBRILLATOR (AED) RECESSED CABINET
KNOX	KNOX BOX
X	EXIT SIGNAGE

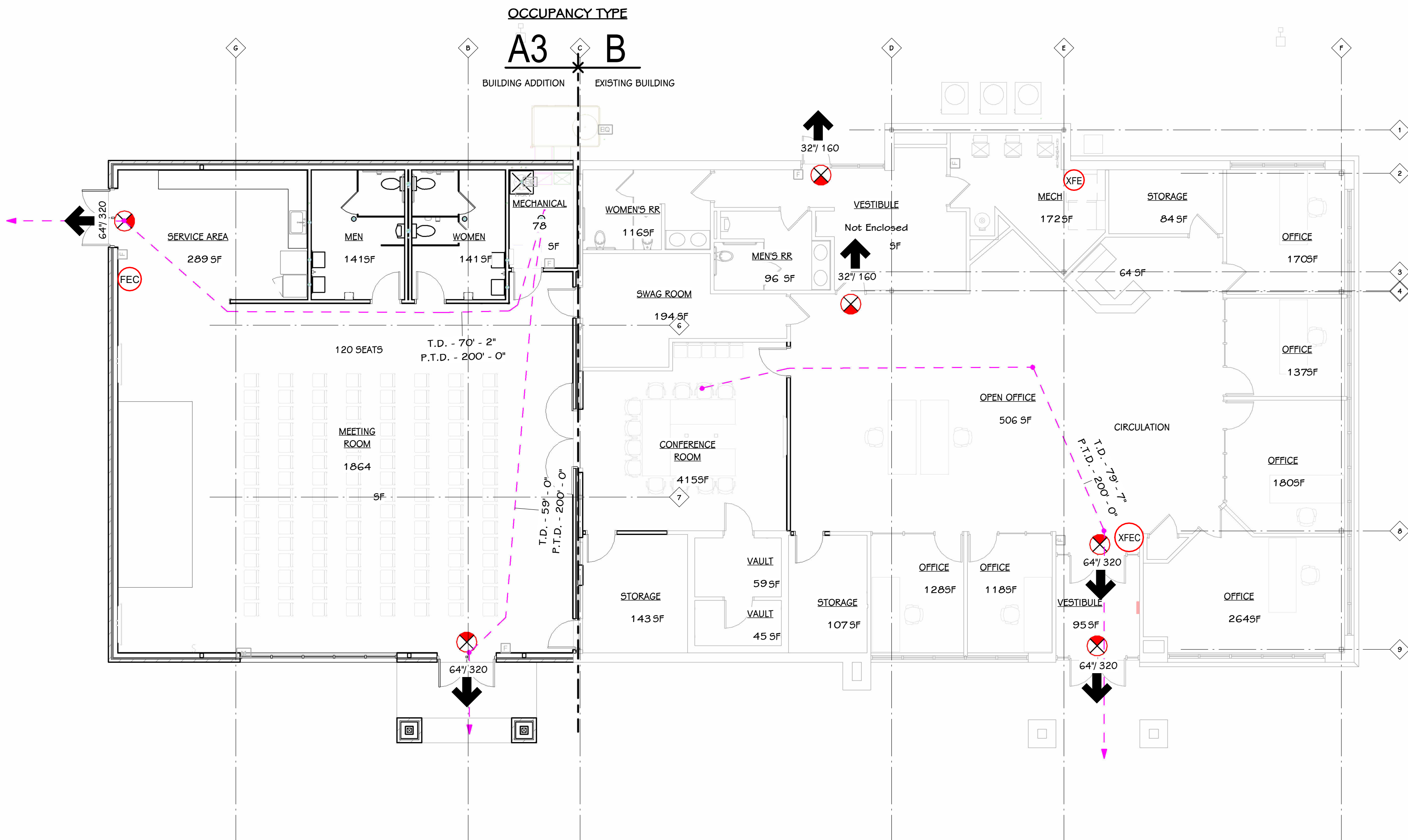
REFERENCED CODE

BUILDING:	2018 KENTUCKY BUILDING CODE, THIRD EDITION WITH AMENDMENTS; INTERNATIONAL FIRE CODE AS REFERENCED
ENERGY:	2012 INTERNATIONAL ENERGY CONSERVATION CODE
PLUMBING:	2017 KENTUCKY STATE PLUMBING CODE
MECHANICAL:	2015 INTERNATIONAL MECHANICAL CODE
FUEL GAS:	2012 NATIONAL FUEL GAS CODE
ELECTRICAL:	2017 NATIONAL ELECTRICAL CODE (NFPA 70)
BARRIER FREE:	CHAPTER 11 - ACCESSIBILITY; ICC / ANSI A117.1, 2009
USE GROUP:	A3/B NONSEPARATED V-B
CONSTRUCTION TYPE:	V-B
SPRINKLERS:	NOT SPRINKLED

PROJECT AREA

TOTAL FINISHED PROJECT	7425 SF
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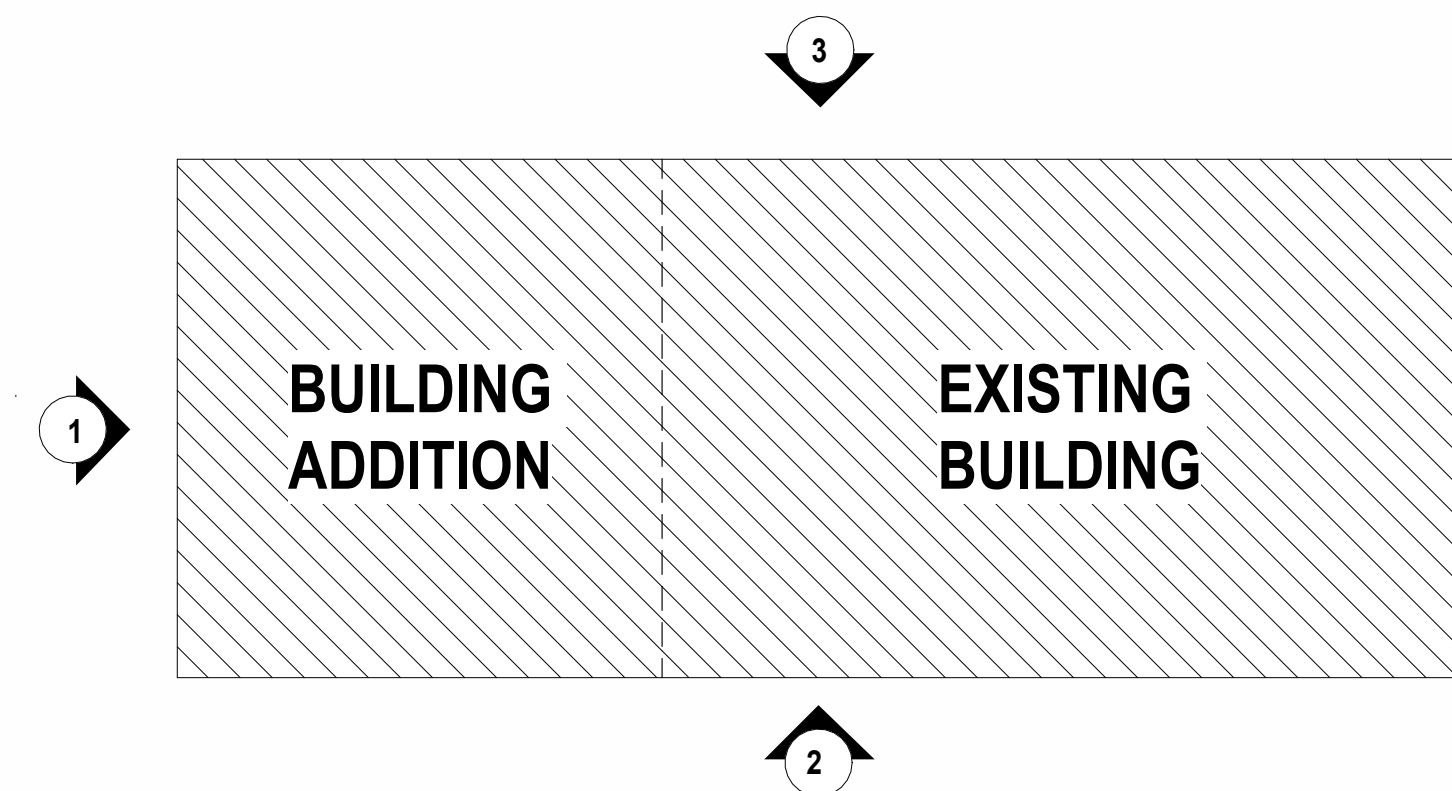
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CODE COMPLIANCE PLAN

1/8" = 1'-0"

TEAMSTERS LOCAL 2727



BUILDING
ADDITION

EXISTING
BUILDING

KEY PLAN

ISSUED FOR

DATE

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TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
CODE COMPLIANCE PLAN

DATE
JANUARY 9, 2026

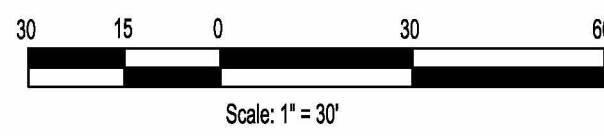
SHEET NUMBER
G 101
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PLAT OF SURVEY



LEGEND

	Control Point		Gas Meter		5/8" Rebar Set w/Cap DLZ Firm #0058
	Rebar		Fire Hydrant		(12.3) Record Dimension
	Mag Nail		Water Meter		12.3' Measured Dimension
	6" Diameter Concrete Cylinders		Water Valve		P.O.C. Point of Commencement
	Finished Floor Elev.		Sanitary Cleanout		P.O.B. Point of Beginning
	Spiral or Sprinkler Head		Sanitary Manhole		
	R/W Marker		Unknown Manhole		
	Sign		Catch Basin		
	Mailbox		Pipe Invert Elev.		
	Air Conditioning Unit		Bush		
	Light Pole or Ground Light		Tree - Coniferous		
	Utility Pole		Tree - Deciduous		
	Guy Anchor				
	Guy Pole Or Stub		Fence - Wood Privacy		
	Electric Box or Riser		Underground Electric Line		
	Electric Controller Cabinet		Underground Cable Line		
	Electric Meter		Underground Gas Line		
	Telephone Pedestal		Underground Telephone Line		
	Telephone Controller Cabinet		Underground Water Line		
	Telephone Pole		Overhead Electric Line		
	Traffic Signal Strain Pole		Overhead Utility Line		
	Signal Loop Detector Box				

CONTROL POINTS			
Pl. No.	Northing	Easting	Elev.
101	3906070.607	4942046.668	517.81
102	3905977.502	4942181.793	521.59

MONUMENTS			
POINT	NORTHING	EASTING	DESCRIPTION
1600	3906192.697	4942063.563	Mag Nail Set
1601	3905991.016	4941989.489	Mag Nail Set
1602	3906083.095	4942434.155	Mag Nail Set
2910	3905962.844	4942365.589	6" Dia. Concrete Cylinder
2971	3906111.499	4942034.942	5/8" Rebar No Cap
2972	3906279.452	4942464.778	1/2" Rebar w/Cap
2973	3906081.944	4942444.092	6" Dia. Concrete Cylinder
3397	3906097.565	4942026.272	1/2" Rebar w/Cap
4024	3906314.862	4942117.210	1/2" Rebar w/Cap

GENERAL SURVEY NOTES

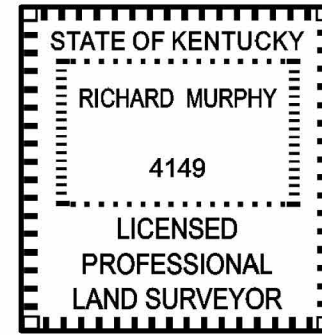
- The basis for bearings and referenced meridian are relative to the Kentucky Coordinate System of 1983, Single Zone (NAD83 2011 Epoch 2010.0). Coordinates are shown to three decimal places not to indicate accuracy of the survey, but to provide for repeatability of calculations. Linear dimensions and coordinate values are in U.S. Survey feet.
- The field survey portion was completed on 10/13/2025 and 10/20/2025.
- This survey is subject to any and all legal assessments and right-of-ways, public or private, whether recorded or unrecorded, and is subject to all city and county regulations and zoning ordinances.
- This survey was performed without the benefit of a title examination.
- This survey is not intended to express an opinion regarding ownership or title.
- The surveyor is not responsible for an inaccurate indexing of records that the County Clerk or the Property Valuation Administrator's Offices may have made.
- Differences in record bearings and distances versus surveyed bearings and distances are possible due to differences between GPS and conventional surveying equipment. Record bearings and distances from Deed Book 1143, Page 156 are shown in parenthesis.
- This survey complies with Section 12 of 201 KAR 18:150 Standards of Practice for Professional Land Surveyors in Kentucky.
- Corner marked as noted. All set iron pins are 5/8" diameter, 18" long rebar with pink plastic cap stamped "Richard Murphy KY 4149". All set mag nails set are 3" mag nails with aluminum washer stamped "R. Murphy KY 4149".
- Utilities were located in the field as a result of a Kentucky 811 call. There may be other utilities affecting this property that are not shown. Prior to any excavation, the owner and/or contractor is responsible for contacting the local utility companies for exact locations and depths.
- There were encroachments noticed during the survey of the subject tract and said encroachments are shown and noted herein.

LAND SURVEYORS CERTIFICATION

I do hereby certify that the survey shown hereon depicts an "urban" survey, made by me, or under my direction, by the Standards of Practice per 201 KAR 18:150 and by the Global Positioning System Standards of Practice per 201 KAR 18:180, and to the best of my knowledge and belief, the boundaries of the property shown hereon are true and accurate. The survey and plat meets or exceeds the minimum standards of governing authorities.

Richard Murphy, PLS
Professional Surveyor No. 4149

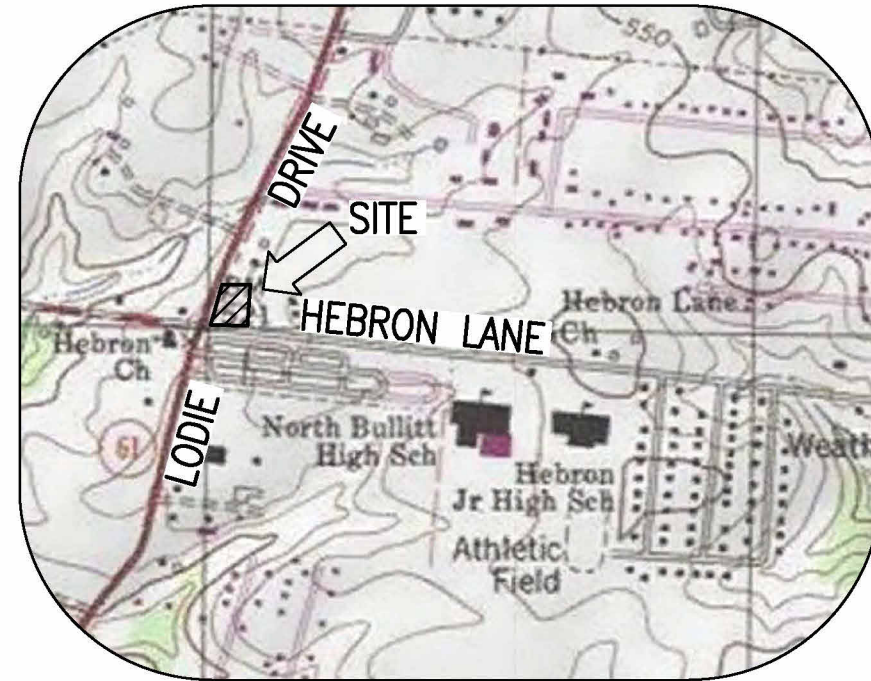
10/27/2025



PREPARED AT THE REQUEST OF:
CORNERSTONE GEOTECHNICAL
SERVICES, LLC
2214 Plantside Dr., Louisville, KY 40299



Plat of Survey	
Teamsters Local 2727 Property described in Deed Book 1143, Page 156	
4810 N. Preston Highway, Hebron Estates, Kentucky 40165	
2531-3109-90	SHEET 1 OF 1



PROPERTY DESCRIPTION (per Deed Book 1143, page 156)

BEGINNING AT AN EXISTING IRON PIN AT THE SOUTHWEST CORNER OF WILLOW PLACE, SECTION 2, RECORDED IN PLAT CABINET 2, SLIDE 48, IN THE OFFICE OF THE CLERK OF BULLITT COUNTY, KENTUCKY ON THE EAST SIDE OF NORTH PRESTON HIGHWAY; THENCE SOUTH 88°01'12" EAST 349.23 FEET TO AN IRON PIN; THENCE SOUTH 5°01'28" WEST 198.55 FEET TO A POINT; THENCE SOUTH 87°19'31" EAST 10.00 FEET TO AN EXISTING CONCRETE CYLINDER; THENCE SOUTH 27°27'58" WEST 151.11 FEET TO AN EXISTING CONCRETE CYLINDER ON THE NORTH SIDE OF EAST HEBRON LANE; THENCE NORTH 88°05'57" WEST 378.04 FEET TO AN EXISTING IRON PIN AT THE INTERSECTION OF EAST HEBRON LANE AND NORTH PRESTON HIGHWAY; THENCE NORTH 15°14'22" EAST 112.73 FEET TO AN EXISTING IRON PIN; THENCE NORTH 17°35'54" EAST 102.15 FEET TO AN EXISTING IRON PIN; THENCE NORTH 19°53'44" EAST 133.43 FEET TO THE POINT OF BEGINNING, CONTAINING 2.95 ACRES, MORE OR LESS, AS SHOWN BY SURVEY OF MAXIE ARMSTRONG DATED JULY 23, 1997.

FLOOD ZONE INFORMATION

Based on an inspection of the Federal Emergency Management Agency's (FEMA) Map Number 21028C0066G, with an effective date of 10/16/2025 for the City of Hebron Estates (210386), which is the current Flood Insurance Rate Map (FIRM) for the community in which the subject property lies, the subject property is entirely within Zone "X", Area of Minimal Flood Hazard.

PURPOSE STATEMENT

The purpose of this plat is to illustrate the Boundary Retracement Survey of the Teamsters Local 2727 property, containing 2.948 acres, located at 4810 North Preston Highway, Hebron Estate, Kentucky that is described in the General Warranty Deed in Deed Book 1143, Page 156, of record in the Bullitt County Court Clerk's Office, Shepherdsville, Kentucky.

ZONING INFORMATION

The following information was obtained as a result of a search of the available data posted from the Bullitt County Planning and Zoning Commission, Zoning Regulations (Rev. April 1987).

Subject Tract Zoning: Central Business District (B-2)
Minimum lot area: NONE
Minimum lot frontage: NONE
Minimum front yard setback: NONE
Minimum side yard setback: NONE
Minimum rear yard setback: NONE

NOTES

Utilities shown hereon are as field located from surface markings provided by Kentucky Underground Plant Protection Services ticket 252880637. The nature, size and location of utilities shown hereon are per above ground field observations together with plans and/or location provided by the respective utility companies or their representatives.

Primary horizontal survey control was established using Real Time Kinematic methods (RTCM3 MAX). Elevations were computed from GPS measurements using Geoid12 and are referenced to the North American Vertical Datum of 1988.

Natural surfaces are subject to vertical movement due to the effects of environmental and mechanical factors. The spot elevations and the interpolated contour lines depicted hereon are representative of the surface of the site on the date(s) the field work was performed. Changes in surface elevations after the date of the survey may be possible without any obvious visible indications. Surface elevations of should be verified prior to construction and any significant discrepancies should be reported to the engineer immediately for evaluation. The surveyor is not responsible for any vertical variances caused by such environmental or mechanical influences.

OWNER:
Teamsters Local 2727
4810 N Preston Hwy
Shepherdsville, KY 40165
(502) 239-0990

ENGINEER:
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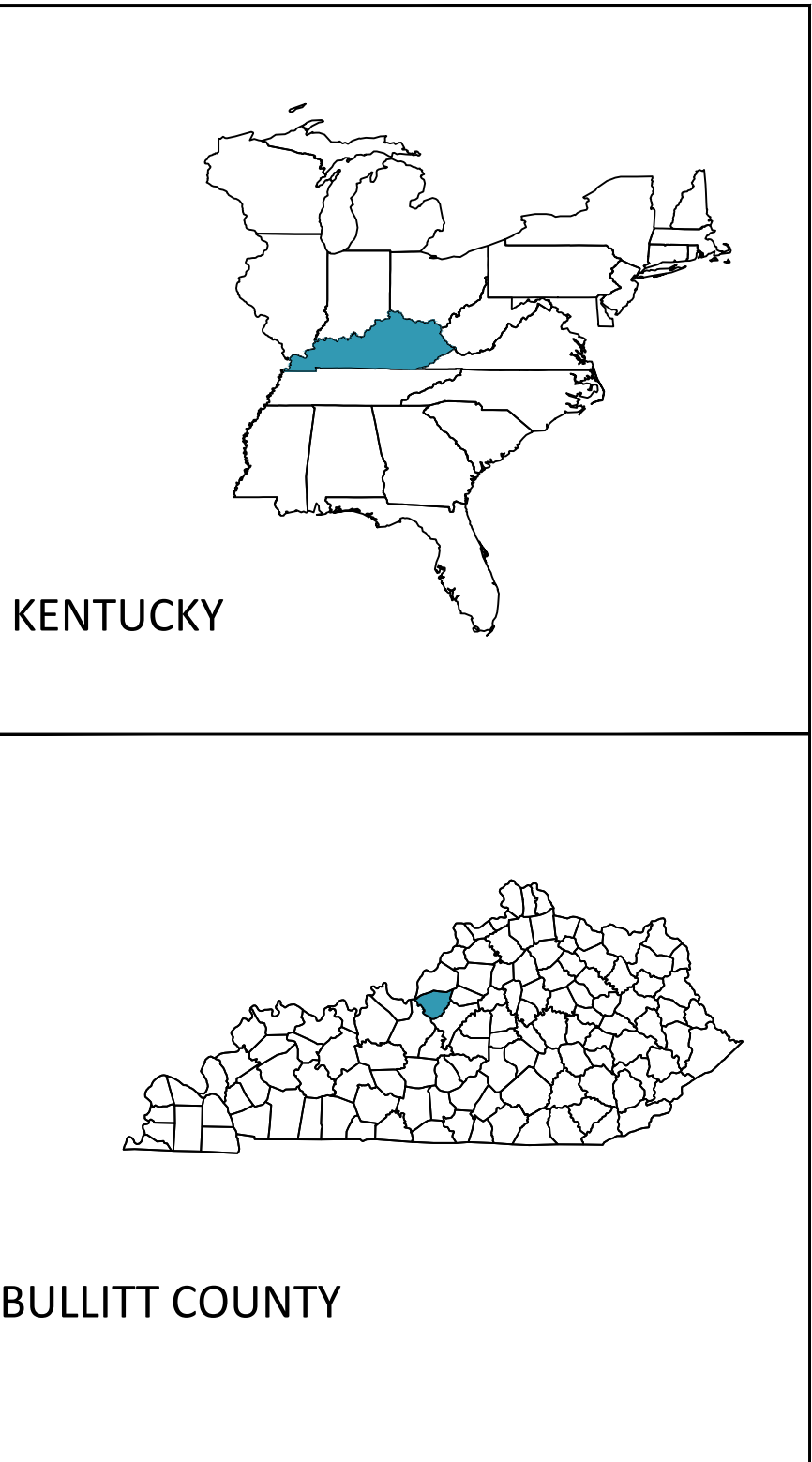
CIVIL SITE IMPROVEMENTS

4810 N PRESTON HWY

SHEPHERDSVILLE, KY 40165



LOCATION MAP
NOT TO SCALE



DRAWING INDEX	
SHEET TITLE	SHEET NUMBER
COVER	C000
GENERAL NOTES	C001
EXISTING CONDITIONS & DEMOLITION PLAN	C100
SITE LAYOUT	C200
GRADING PLAN	C300
EPSC PLAN	C400
CIVIL DETAILS	C600

QUANTITIES NOTE:

ANY AND ALL QUANTITY TABLES, NOTES OR VALUES AS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. THE PLANS, DETAILS, AND SPECIFICATION GOVERN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW THE ENTIRE CONSTRUCTION SET AND DETERMINE ALL THE FINAL QUANTITIES FOR ALL NECESSARY ITEMS REQUIRED TO COMPLETE THIS PROJECT. THE OWNER OR THE ENGINEER WILL NOT BE HELD LIABLE OR RESPONSIBLE FOR ESTIMATES NOT CONFIRMED BY THE CONTRACTORS. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES PRIOR TO BIDDING AND CONSTRUCTION. IF DISCREPANCIES ARE FOUND, CONTACT THE ENGINEER IMMEDIATELY.

FLOOD HAZARD STATEMENT:

THE ACCURACY OF THE FLOOD HAZARD INFORMATION SHOWN OR IDENTIFIED HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE WITHIN DESCRIBED TRACT OF LAND LIES WITHIN FLOOD HAZARD ZONE X AS SAID TRACT PLOTS BY SCALE ON COMMUNITY PANEL NUMBER 21029C0066G OF THE FLOOD INSURANCE RATE MAPS FOR BULLITT COUNTY, KENTUCKY (PANEL UPDATED 10/16/2025)

NOTE: CAUTION EXISTING UTILITIES

THE INFORMATION SHOWN ON THESE DRAWINGS CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL-INCLUSIVE. LOCATION, SIZE, AND MATERIAL SHOWN ON UTILITIES ARE FROM AVAILABLE RECORDS SUPPLIED BY THE RESPECTIVE UTILITY COMPANY. KENTUCKY 811-BEFORE YOU DIG (BUD) MUST BE NOTIFIED 2 BUSINESS DAYS PRIOR TO ANY EXCAVATION FOR VERIFICATION OF LOCATION, SIZE, AND MATERIAL. DIAL 811 OR 1.800.752.6007



UTILITY CONTACT INFORMATION:

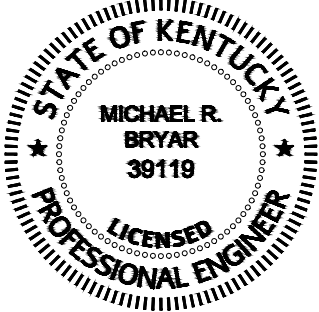
SANITARY: ON SITE SEPTIC	ELECTRIC: LOUISVILLE GAS & ELECTRIC 220 W MAIN ST LOUISVILLE, KY 40222 CONTACT: (502) 589-1444	WATER: LOUISVILLE WATER COMPANY 550 S 3RD ST LOUISVILLE, KY 40222 CONTACT: (502) 583-6610
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DATE:

COVER SHEET

TEAMSTER 2727
CIVIL SITE IMPROVEMENTS
4180 N PRESTON HWY
SHEPHERDSVILLE, KY

DATE: 01/09/2026

DESIGN PHASE

NOT FOR CONSTRUCTION

PROJECT NUMBER:

#	REVISION	DATE

DESIGNED BY: KH

DRAWN BY: KH

CHECKED BY: MB

SHEET NO:

C000

SHEET
1 OF 7

1. CONTRACTOR SHALL PERFORM ALL MAINTENANCE OF TRAFFIC IN ACCORDANCE WITH STATE AND LOCAL STANDARDS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
2. CONTRACTOR SHALL COMPLY WITH ANY AND ALL SAFETY REGULATIONS AND REQUIREMENTS RELATED TO THE PROPOSED WORK. THE CONTRACTOR SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND ANY OTHER LOCAL, STATE OR FEDERAL AGENCY HAVING JURISDICTION. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION INSPECTION OF THE CONTRACTOR'S PERFORMANCE DOES NOT INCLUDE A REVIEW OF CONTRACTOR'S IMPLEMENTED SAFETY MEASURES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS AND OTHER SAFETY MEASURES DURING CONSTRUCTION.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FEES AND PERMITS REQUIRED FOR WORK.
5. PLANS AND SPECIFICATIONS REFERENCE ARCHITECT, ENGINEER AND LANDSCAPE ARCHITECT INTERCHANGEABLY THROUGHOUT.
6. NO CHANGES SHALL BE MADE TO THE PLANS WITHOUT PRIOR NOTICE AND WRITTEN APPROVAL OF ENGINEER.
7. CONTACT ENGINEER OF RECORD IF ANY DEVIATIONS OF THE EXISTING CONDITIONS FROM THOSE SHOWN ON THE PLANS MAY BE NECESSARY TO PROTECT THE EXISTING STRUCTURE OR TRAFFIC.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING SURVEY MONUMENTS AND BENCHMARKS. ANY OBJECT DISTURBED OR DESTROYED DURING CONSTRUCTION ACTIVITY SHALL BE REPLACED BY A LICENSED SURVEYOR IN THE STATE THAT THE WORK OCCURS IN.
9. EXCAVATION AND DISPOSAL OF MATERIAL SHALL BE DONE IN COMPLIANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND ENVIRONMENTAL REGULATIONS. CONTRACTOR SHALL CEASE EXCAVATION ACTIVITIES AND NOTIFY THE OWNER AND ARCHITECT IMMEDIATELY IF CONTAMINATED SOIL OR OTHER ENVIRONMENTAL HAZARD IS ENCOUNTERED.
10. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING SITE AREAS OR IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO AT LEAST THE CONDITION THAT EXISTED BEFORE CONSTRUCTION.

1. ALL UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION, WHICH COULD BE ANY COMBINATION OF FIELD OBSERVATION, GIS MAPPING, AND PRIVATE UTILITY LOCATE SERVICES. CONTRACTOR SHALL CONTACT #11 FOR LOCATION OF EXISTING UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS.
2. CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN THE WORK AREA WHETHER SHOWN OR NOT, AND SHALL REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE.
3. ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE PERMISSION OF THE UTILITY.
4. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF WORK WHICH COULD DISRUPT THE RESPECTIVE UTILITY SERVICE. CONTRACTOR SHALL COORDINATE ANY DISRUPTION OF AN ACTIVE UTILITY SERVICE WITH ENGINEER, OWNER, AND UTILITY COMPANY.
5. ANY DEVIATIONS FROM THE UTILITY LOCATIONS OR ELEVATIONS FROM THOSE SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION.
6. CONTRACTOR SHALL UNCOVER ALL TIE-IN AND CROSSING LOCATIONS PRIOR TO ANY UNDERGROUND PIPE INSTALLATION.
7. REFER TO BUILDING PLANS FOR ALL INFORMATION REGARDING UTILITY LAYOUT AND DETAILS WITHIN THE BUILDING AND EXTENDING OUT-SECT FROM EXTERIOR FACE OF BUILDING. ALL MECHANICAL, ELECTRICAL, AND PLUMBING DESIGN AND COORDINATION SHALL BE THE RESPONSIBILITY OF CONTRACTOR.
8. ALL UTILITY MATERIALS AND INSTALLATION SHALL CONFORM TO LOCAL STANDARDS FOR EACH UTILITY AGENCY HAVING JURISDICTION UNLESS OTHERWISE SPECIFIED ON PLANS.
9. ALL EXCAVATED TRENCHES UNDER PROPOSED PAVED AREAS, INCLUDING SIDEWALKS, SHALL BE BACKFILLED WITH GRANULAR MATERIAL AND COMPACTED IN LIFTS ACCORDING TO CONSTRUCTION DETAILS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVEMENT AT THE SURFACE WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.
10. ALL COORDINATES AND DIMENSIONS ARE TO THE CENTERLINE OF THE UTILITIES AND STRUCTURES.
11. WHERE NECESSARY, UTILITY SERVICE CONDUITS SHALL BE INSTALLED UNDER PAVED AREAS AND BACKFILLED AS SPECIFIED ABOVE BEFORE PAVEMENT IS CONSTRUCTED. COORDINATE CONDUIT REQUIREMENTS WITH UTILITY COMPANIES AND MECHANICAL CONTRACTOR.

1. PRIOR TO THE START OF DEMOLITION WORK, CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY LOCAL, STATE AND FEDERAL AGENCIES HAVING JURISDICTION.
2. UNLESS NOTED OTHERWISE, CONTRACTOR SHALL DEMOLISH AND DISPOSE OF OFF-SITE ALL MATERIALS, STRUCTURES, FENCE, CONCRETE, PAVEMENTS, CURBS AND OTHER MISCELLANEOUS APPURTENANCES WITHIN DISTURBED LIMIT. DISPOSAL OF SITE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FEATURES TO REMAIN OR WHICH LIE ALONG THE PERIMETER OF THE SITE. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY DAMAGE WHICH OCCURS DURING OR AS A RESULT OF CONSTRUCTION ACTIVITY. REPLACEMENT OF DAMAGED PROPERTY SHALL BE AT MINIMUM EQUAL TO EXISTING CONDITIONS.
4. CLEAR AND GRUB ALL TREES, BRUSH, STUMPS AND OTHER VEGETATION NECESSARY FOR CONSTRUCTION. ALL CLEARING AND GRUBBING DEBRIS SCHEDULED FOR REMOVAL, SHALL BE DISPOSED OF OFF-SITE.
5. TREES AND OTHER PLANT MATERIALS TO REMAIN SHALL BE PROTECTED BY TREE FENCE INSTALLED OUTSIDE THE DRAIN LINE. NO CONSTRUCTION EQUIPMENT, MATERIALS OR DEBRIS SHALL BE LOCATED WITHIN TREE PROTECTION FENCING.
6. DEMOLISH FOUNDATIONS AND OTHER BELOW-GRADE CONSTRUCTION, INCLUDING CONCRETE SLABS, TO A DEPTH OF NOT LESS THAN 60-INCHES BELOW THE LOWEST GRADE/SUBGRADE LEVEL.
7. COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES IN ACCORDANCE WITH THE RECOMMENDED GEOTECHNICAL SPECIFICATIONS.
8. UNLESS NOTED OTHERWISE, ALL UNDERGROUND UTILITIES SCHEDULED FOR DEMOLITION SHALL BE COMPLETELY EXCAVATED AND DISPOSED OF OFF-SITE, AND THE TRENCH BACKFILLED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
9. UNLESS NOTED OTHERWISE, ALL UTILITIES TO BE REMOVED SHALL BE DISCONNECTED AND CAPPED AT THE NEAREST CONNECTION POINT.
10. CONDUCT DEMOLITION AND CONSTRUCTION OPERATIONS TO ENSURE MINIMAL INTERFERENCE WITH STREETS, WALKS, AND OTHER ADJACENT OCCURRED FACILITIES.
11. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS OR OTHER OCCUPIED FACILITIES WITHOUT PERMISSION FROM THE LOCAL AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY GOVERNING AUTHORITIES.
12. ENSURE SAFE TRAVEL AROUND AREAS OF DEMOLITION AND CONSTRUCTION. CONDUCT OPERATIONS TO PREVENT DAMAGE TO ADJACENT STRUCTURES AND OTHER FACILITIES AND INJURY TO PERSONS.

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL REQUIRED CONSTRUCTION LINE AND GRADE TO ENSURE ACCURATE LAYOUT OF SITE IMPROVEMENTS.
3. UNLESS NOTED OTHERWISE, ALL DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, EDGE OF SIDEWALK, OR OUTSIDE SURFACE OF FOUNDATION WALL.
4. REFER TO BUILDING PLANS FOR ALL BUILDING DIMENSIONS AND LAYOUT DETAILS.
5. FOLLOWING THE COMPLETION OF ALL UNDERGROUND WORK IN PAVED AREAS, AGGREGATE BASE SHALL BE PLACED AND COMPACTED TO THE THICKNESS INDICATED ON THE APPROPRIATE PAVEMENT DESIGN DETAIL. WHEN THICKNESS OF COMPACTED AGGREGATE BASE EXCEEDS 6 INCHES, PLACE MATERIALS IN EQUAL LAYERS WITH NO LAYER MORE THAN 6 INCHES OR LESS THAN 3 INCHES THICK WHEN COMPACTED. COMPACT WITH A MEDIUM WEIGHT SMOOTH WHEELED ROLLER OR EQUIVALENT. ALONG CURBS, WALLS AND ALL LOCATIONS NOT ACCESSIBLE TO THE ROLLER, COMPACT AGGREGATE BASE WITH A TAMPING BAR.
6. ASPHALT PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CONSTRUCTION AND MATERIAL GUIDELINES OF THE LOCAL REGULATORY STANDARD SPECIFICATIONS, LATEST EDITION. SEE CONSTRUCTION DETAILS FOR PAVEMENT DESIGN INFORMATION.
7. THE CONNECTION OF NEW PAVEMENT TO EXISTING PAVEMENT IN THE PARKING LOTS AND DRIVEWAYS SHALL MATCH EXISTING GRADES AND PROFILES. A 3" MINIMUM MILL AND OVERLAY IS REQUIRED FOR CONNECTIONS BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENTS. SEE CONSTRUCTION DETAILS. THE EDGE OF THE EXISTING ASPHALT PAVEMENT SHALL BE SEAMED TO THE NEW ASPHALT PAVEMENT WITH A TACK COAT MATERIAL. ALL LOCATIONS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
8. UNLESS NOTED OTHERWISE, ALL PAVEMENT STRIPING WITHIN THE PROJECT SITE SHALL BE 4-INCHES WIDE, THERMOPLASTIC OR WHITE LAKE PAINTED.
9. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-150. ONLY ONE BRAND AND MANUFACTURER OF APPROVED CEMENT SHALL BE USED FOR ANY ONE STRUCTURE. REGULAR FINE AND COARSE AGGREGATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-33. ALL WATER USED SHALL BE POTABLE, CLEAN AND FREE FROM OILS, ACIDS, ALKALIS, ORGANIC MATERIAL, OR OTHER SUBSTANCES THAT MAY BE DETRIMENTAL TO CONCRETE OR STEEL.
10. REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60. WELDED WIRE FABRIC OR WIRE MESH SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-185. REINFORCEMENT SHALL BE CUT AND BENT IN ACCORDANCE WITH ACI 315. COMPLY WITH ARI'S RECOMMENDED PRACTICE "PLACING REINFORCING BARS" FOR PLACING AND SUPPORTING REINFORCEMENT.
11. ALL CONCRETE USED SHALL BE CLASS A STRUCTURAL CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI. CLASS A CONCRETE SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 318. ALL READY MIXED CONCRETE SHALL BE MIXED, DELIVERED, AND PLACED IN ACCORDANCE WITH ASTM C-94.
12. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304. FORMED CONCRETE SHALL BE UNIFORMLY CONSOLIDATED USING A MECHANICAL VIBRATOR. COMPLY WITH THE RECOMMENDATIONS OF ACI 306R FOR COLD

13. CONCRETE SAW CUTTING SHALL BE DONE AS SOON AS POURED CONCRETE HAS CURED AND CAN SUPPORT WEIGHT. PROVIDE A NEAT, STRAIGHT CUT WHICH IS TRUE IN ALIGNMENT. ALL JOINTS ARE TO CONTINUE FROM PROPOSED SIDEWALK OR CONCRETE PAVEMENT THROUGH THE CURB.

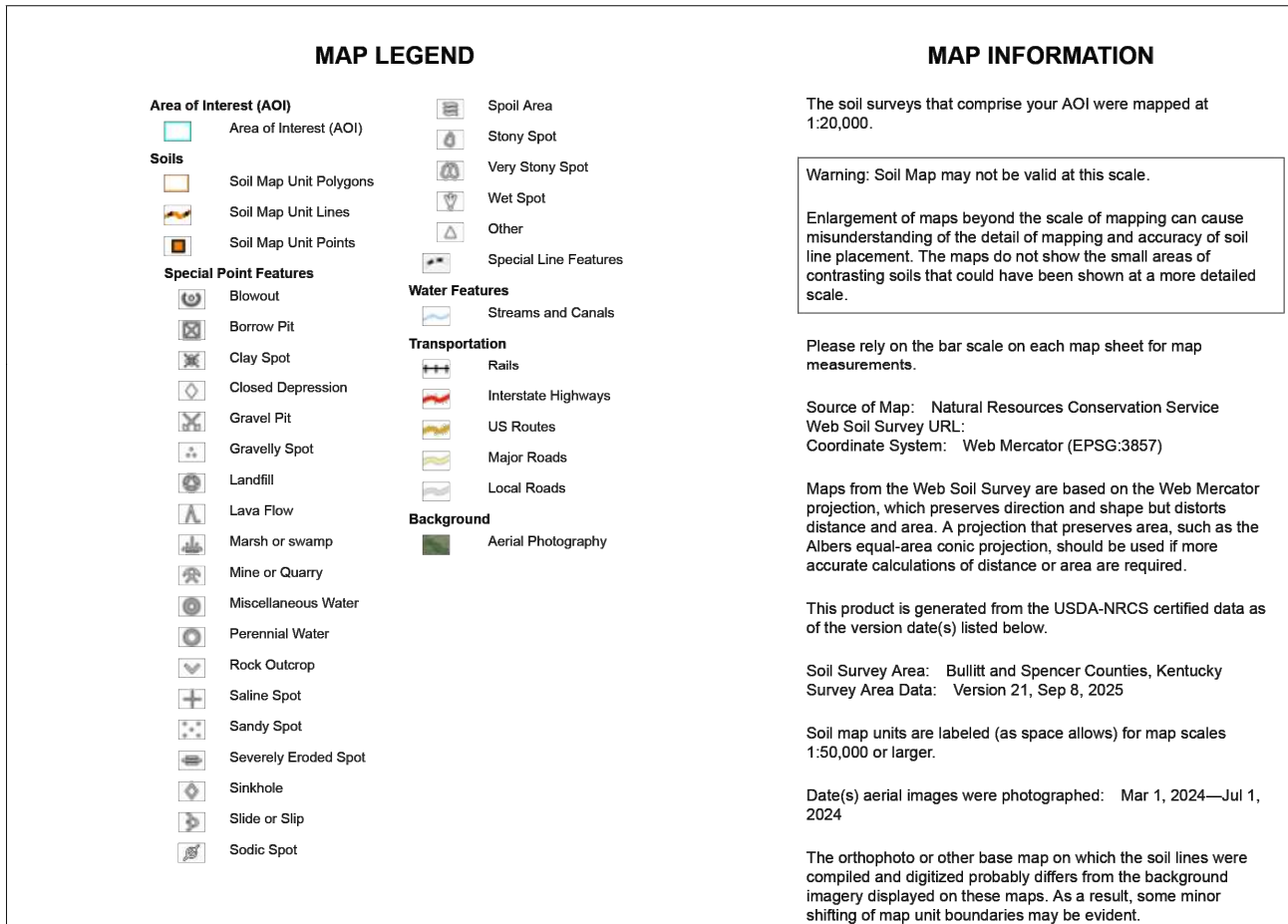
14. ALL CONSTRUCTION JOINTS SHALL BE SAWN, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH THE APPROPRIATE SEALANT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

15. ALL SIDEWALKS SHALL COMPLY WITH AMERICAN WITH DISABILITIES ACT (ADA) STANDARDS. MAXIMUM CROSS SLOPE IN ANY DIRECTION SHALL BE 2.0% AND MAXIMUM LONGITUDINAL SLOPE SHALL BE 5.0% (EXCLUDING ANY RAMP AREAS).

1. CONTRACTOR SHALL REFER TO THE GEOTECHNICAL ENGINEERING INVESTIGATION REPORT BY [INSERT GEOTECHNICAL FIRM] DATED [INSERT DATE (MONTH DAY, YEAR)] FOR INFORMATION ABOUT THE SOIL CONDITIONS.
2. EARTHWORK SHALL BE COMPLETED IN ACCORDANCE WITH LOCAL REGULATORY STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY ENGINEER AND THE OWNER AT LEAST 48 HOURS BEFORE STARTING EARTHWORK OPERATIONS.
3. THE CONTRACTOR SHALL EMPLOY A QUALIFIED GEOTECHNICAL ENGINEER FOR THIS PROJECT. THE GEOTECHNICAL ENGINEER SHALL INSPECT SOIL CONDITIONS, PROOF-ROLLING, AND FIELD DENSITY OF COMPACTED FILLS. ALL SUBGRADES AND FILLS SHALL MEET OR EXCEED THE COMPACTION REQUIREMENTS SPECIFIED BELOW. BASED UPON REPORTS FROM THE GEOTECHNICAL ENGINEER, SUBGRADES OR FILLS WHICH ARE BELOW SPECIFIED DENSITIES REQUIRE ADDITIONAL COMPACTION WORK AND TESTING AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE DURING FINISH GRADING AND LANDSCAPE WORK. TOPSOIL SHALL BE STRIPPED TO A MINIMUM DEPTH OF 4 INCHES. THE AMOUNT OF TOPSOIL OR STRIPPING OF SURFACE SOILS MAY VARY BY LOCATION WITHIN THE SITE. THE ENGINEER SHALL DESIGNATE ON-SITE LOCATIONS TO STORE OR DEPOSIT STRIPPED SOILS. CONTRACTOR SHALL REMOVE TOPSOILS AND UNSUITABLE SUBSOILS FROM ALL AREAS TO BE OCCUPIED BY BUILDINGS AND PAVEMENTS. IN ADDITION, ANY AREAS TO BE UTILIZED AS BORROW AREAS FOR FILL MATERIALS MUST ALSO BE STRIPPED OF TOPSOILS. IF THE AMOUNT OF STOCKPILED TOPSOIL EXCEEDS QUANTITY REQUIRED, THE EXCESS TOPSOIL MUST BE EITHER EXPORTED OR DISPOSED BY THE ENGINEER OR DISPOSED OF OFFSITE.
5. ALL COMPACTED FILL AND BACKFILL MATERIAL SHALL BE SATISFACTORY MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIAL SHALL CONTAIN LESS THAN 3-PERCENT ORGANIC MATERIAL BY WEIGHT. LARGE ROCK GREATER THAN 4-INCHES, RUBBISH, OR OTHER UNSUITABLE MATERIAL. SAMPLES OF THE FILL MATERIALS SHALL BE SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR APPROVAL PRIOR TO PLACEMENT. ALL FILL EMBANKMENTS AND UNDER BUILDING PAVED AREAS, SIDEWALKS, AND PADS SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY REQUIRED. THE WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATION CONTENT IN ACCORDANCE WITH THE DENSITY TEST #468. THE AREA OF COMPACTED FILL FOR THE BUILDING SHALL EXTEND AT LEAST 5' FEET BEYOND THE FOUNDATION WALLS.
6. UPON REACHING SUBGRADE ELEVATION IN AREAS THAT HAVE BEEN FILLED AND COMPACTED, OR IN AREAS WHERE THE PAVEMENT SUBGRADE ELEVATIONS ARE ACHIEVED WITHOUT FILL OPERATIONS, CONTRACTOR SHALL PROOF-ROLL SUBGRADE WITH A FULLY LOADED TRI-AXLE DUMP TRUCK, MEDIUM WEIGHT ROLLER OR OTHER APPROVED EQUIPMENT, TO DETERMINE IF ANY "POCKETS" OF SOFT, UNSUITABLE MATERIAL ARE PRESENT. POCKETS OF UNSUITABLE MATERIALS SHALL BE EXCAVATED AND REPAIRED TO THE PROPOSED FINISH ELEVATION. THE REPAIR WORK SHALL BE AS DIRECTED BY THE GEOTECHNICAL ENGINEER. GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING PROOF-ROLLING OPERATIONS AND SHALL SUBMIT A REPORT OF ACCEPTANCE TO ENGINEER.
7. BACKFILL MATERIAL SHALL MEET THE REQUIREMENTS OF AND SHALL BE COMPACTED ACCORDING TO THE EARTHWORK SPECIFICATIONS. WHERE BACKFILLING IS REQUIRED ON BOTH SIDES OF A FOUNDATION WALL, THE BACKFILL MATERIAL SHALL BE PLACED EQUALLY ON BOTH SIDES TO AVOID UNBALANCED SOIL PRESSURE ON ONE SIDE OF THE WALL.
8. TRENCHES UNDER PAVED AREAS SHALL BE BACKFILLED AND COMPACTED WITH APPROVED GRANULAR MATERIAL PER CONSTRUCTION DETAILS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE PAVEMENT WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.

1. CONTRACTOR SHALL TAKE PARTICULAR CARE WHEN GRADING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY CONTRACTORS AND/OR UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
2. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS BEFORE SITE GRADING IS TO START TO VERIFY IF UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATION, SIZE AND DEPTH), SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES, WHEN GRADING OPERATIONS MAY IMPACT EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING GRADING.
3. AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL SHALL BE PERFORMED BY A LOADED TANDEM PNEUMATIC TIRE DUMP TRUCK MINIMUM GROSS VEHICLE WEIGHT OF 22 TONS. THE TIRES SHALL BE OPERATED AT INFLATION PRESSURES BETWEEN 70-80 PSI UNLESS OTHERWISE NOTED BY THE GEOTECHNICAL ENGINEER. THE TIRES SHALL BE INFLATED WITH AIR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLACEMENT OF THE TIRES. INSPECTION OF SOILS SHALL NOT BE DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
4. FOLLOWING THE COMPLETION OF SITE GRADING AND SUBSURFACE UTILITY INSTALLATION, TOPSOIL SHALL BE PLACED IN AREAS DESIGNATED FOR SEEDING, SODDING, OR LANDSCAPING TO A MINIMUM DEPTH OF 6 INCHES. THE FINISHED SURFACE SHALL BE UNIFORMLY AND SMOOTHLY GRADED AND SHALL BE FREE OF DEPRESSED AREAS WHERE WATER CAN POOL. THE FINISHED SURFACE SHALL BE PLACED TO A MINIMUM GRADE SUCH THAT THE GRADE SHALL NOT BE MORE THAN 0.1 FOOT ABOVE OR BELOW THE GRADES INDICATED ON THE PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND ADJACENT FILL EMBANKMENTS.
5. PROVIDE POSITIVE DRAINAGE WITHOUT PONDING IN ALL AREAS. UPON REACHING FINAL GRADE, CONTRACTOR SHALL CORRECT ANY STANDING WATER CONDITIONS.
6. ALL PROPOSED SLOPE ELEVATIONS OR CONTOURS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS.
7. SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE ELEVATIONS INDICATED.

1. ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN ACCORDANCE WITH BULLITT COUNTY, KY PLANNING AND DEVELOPMENT STANDARDS AND SPECIFICATIONS. DISCREPANCIES BETWEEN THE PLANS AND THE JURISDICTIONAL AGENCIES SHALL BE RESOLVED PRIOR TO THE DATE THE CONTRACTOR STARTS ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE STANDARDS AND SPECIFICATIONS.
2. PERMITTER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY OTHER CONSTRUCTION ACTIVITY COMMENCING.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR SOIL AND EROSION CONTROL AND DUST CONTROL MEASURES PRIOR TO AND DURING CONSTRUCTION. CONTRACTOR SHALL MAINTAIN THE MEASURES THROUGHOUT THE CONSTRUCTION PERIOD TO PREVENT EROSION OF SOIL AND ENTRY OF SOIL-BEARING WATER AND AIRBORNE DUST ONTO ADJACENT PROPERTIES AND INTO THE PUBLIC STORM WATER FACILITIES.
4. THE EROSION CONTROL PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EROSION FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
5. SEDIMENT LADEN WATER SHALL BE DETAINED BY EROSION CONTROL PRACTICES AS NEEDED TO MINIMIZE SEDIMENTATION IN RECEIVING WATER. NO STORM WATER SHALL BE DISCHARGED FROM THE SITE IN A MANNER THAT CAUSES EROSION AT THE POINT OF DISCHARGE. SEDIMENT-LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO ANY RECEIVING WATER BODY.
6. WASTE AND UNUSED BUILDING MATERIALS SHALL NOT BE ALLOWED TO BE CARRIED FROM THE SITE BY STORM WATER RUNOFF. PROPER DISPOSAL OF ALL WASTE AND UNUSED BUILDING MATERIALS IS REQUIRED. CONTRACTOR SHALL KEEP ALL PUBLIC ROADWAYS CLEAR AND FREE FROM ANY CONSTRUCTION RELATED DEBRIS.
7. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO PUBLIC ROADWAYS. SOIL TRACKED ONTO THE ROADWAY SHALL BE REMOVED DAILY. REMOVAL OF ACCUMULATED SEDIMENT SHALL NOT INCLUDE FLUSHING WITH WATER. CLEARED SEDIMENT SHALL BE RETURNED TO THE SITE FOR DISPOSAL.
8. SOIL WHICH HAS ACCUMULATED NEXT TO EROSION CONTROL DEVICES SHALL BE COLLECTED AND RE-DISTRIBUTED ON SITE FOLLOWING EACH MAJOR RAINFALL EVENT AND MINIMUM OF ONCE EVERY 30 DAYS.
9. PIPE ENDS SHALL BE CAPEP COVERED WITH FILTER FABRIC IF INSTALLATION OF STORM DRAINAGE SYSTEM IS INTERRUPTED FOR ANY REASON.
10. WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF THE SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED. THE DURATION OF TIME WHICH AN AREA REMAINS EXPOSED SHALL BE KEPT TO A PRACTICAL MINIMUM. ALTERNATIVE MEASURES OF SITE STABILIZATION ARE ACCEPTABLE IF THE CONTRACTOR CAN DEMONSTRATE THEY HAVE IMPLEMENTED EROSION AND SEDIMENT CONTROL MEASURES ADEQUATE TO PREVENT EROSION AND SEDIMENTATION.
11. TOPSOIL REPLACEMENT SHALL TAKE PLACE FROM MARCH 1 TO OCTOBER 31. STOCKPILE TOPSOIL AT ALL OTHER TIMES OF THE YEAR. PERMANENT AND FINAL VEGETATION, AND STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED WITHIN SEVEN (7) DAYS AFTER FINAL GRADING, OR AS SOON AS POSSIBLE.
12. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGHOUT THE USE OF SILT FENCE.
13. INSTALL INLET PROTECTION ON STORM INLETS IMMEDIATELY UPON COMPLETION OF THE STRUCTURE. REMOVE INLET PROTECTION FOR PAVING OPERATION AND REPLACE AFTER PAVING IS COMPLETE. INLET PROTECTION SHALL REMAIN IN PLACE UNTIL VEGETATION IS ESTABLISHED ON ALL DISTURBED AREAS.
14. DETENTION BASINS, IF APPLICABLE, SHALL BE CONSTRUCTED FIRST AND SHALL BE FORMED AS SEDIMENT BASINS DURING GROUNDWATER CONTROL AND DRAINAGE STRUCTURE INSTALLATION. SHALL BE SEED, MULCH AND STABILIZED.
15. PRIOR TO COMPLETION OF THE PROJECT, CONTRACTOR SHALL CLEAN OUT ALL STORM DRAINAGE STRUCTURES AND RESTORE ALL DITCHES AND PONDS TO DESIGNED GRADES.
16. CONTRACTOR SHALL REMOVE ALL EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ONCE CONSTRUCTION IS COMPLETE AND THE SITE HAS BEEN STABILIZED.



A circular professional engineer seal for the State of Kentucky. The outer ring contains the text "STATE OF KENTUCKY" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "MICHAEL R. BRYAR" and the license number "39119".

TEAMSTER 2727
CIVIL SITE IMPROVEMENTS
4180 N PRESTON HWY
SHEPHERDSVILLE, KY

GENERAL NOTES

DESIGN PHASE
NOT FOR
CONSTRUCTION

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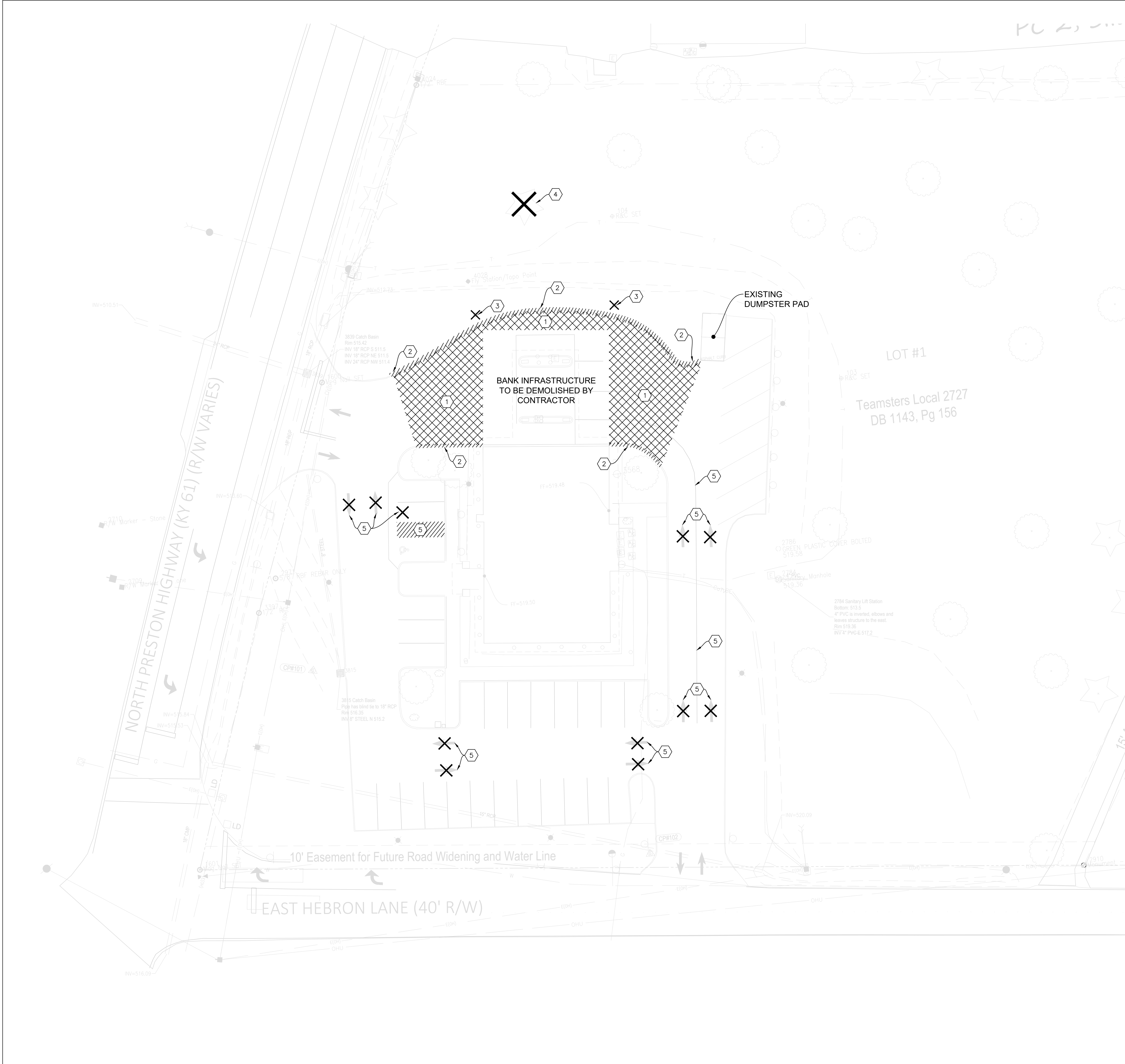
[illegible]

DESIGNED BY:

DRAWN BY: _____

SHEET NO.:

SHEET



GENERAL SURVEY NOTES

- THE BASIS FOR BEARINGS AND REFERENCED MERIDIAN ARE RELATIVE TO THE KENTUCKY COORDINATE SYSTEM OF 1983, SINGLE ZONE (NAD83 2011 EPOCH 2010.0). COORDINATES ARE SHOWN TO THREE DECIMAL PLACES NOT TO INDICATE ACCURACY OF THE SURVEY, BUT TO PROVIDE FOR REPEATABILITY OF CALCULATIONS. LINEAR DIMENSIONS AND COORDINATE VALUES ARE IN U.S. SURVEY FEET.
- THE FIELD SURVEY PORTION WAS COMPLETED ON 10/13/2025 AND 10/20/2025.
- THIS SURVEY IS SUBJECT TO ANY AND ALL LEGAL EASEMENTS AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, WHETHER RECORDED OR UNRECORDED, AND IS SUBJECT TO ALL CITY AND COUNTY REGULATIONS AND ZONING ORDINANCES.
- THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE EXAMINATION.
- THIS SURVEY IS NOT INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
- THE SURVEYOR IS NOT RESPONSIBLE FOR AN INACCURATE INDEXING OF RECORDS THAT THE COUNTY CLERK OR THE PROPERTY VALUATION ADMINISTRATOR'S OFFICES MAY HAVE MADE.
- DIFFERENCES IN RECORD BEARINGS AND DISTANCES VERSUS SURVEYED BEARINGS AND DISTANCES ARE POSSIBLE DUE TO DIFFERENCES BETWEEN GPS AND CONVENTIONAL SURVEYING EQUIPMENT. RECORD BEARINGS AND DISTANCES FROM DEED BOOK 1143, PAGE 156 ARE SHOWN IN PARENTHESIS.
- THIS SURVEY COMPLIES WITH SECTION 12 OF 201 KAR 18:150 STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS IN KENTUCKY.
- CORNER MARKED AS NOTED. ALL SET IRON PINS ARE 5/8" DIAMETER, 18" LONG REBAR WITH PINK PLASTIC CAP STAMPED "RICHARD MURPHY KY 4149". ALL SET MAG NAILS SET ARE 3" MAG NAILS WITH ALUMINUM WASHER STAMPED "R. MURPHY KY 4149".
- UTILITIES WERE LOCATED IN THE FIELD AS A RESULT OF A KENTUCKY 811 CALL. THERE MAY BE OTHER UTILITIES AFFECTING THIS PROPERTY THAT ARE NOT REFERRED TO ANY EXCAVATION, THE OWNER AND/OR CONTRACTOR IS RESPONSIBLE FOR CONTRACTING THE LOCAL UTILITY COMPANIES FOR EXACT LOCATIONS AND DEPTHS.
- THERE WERE ENCROACHMENTS NOTICED DURING THE SURVEY OF THE SUBJECT TRACT AND SAID ENCROACHMENTS ARE SHOWN AND NOTED HEREON.

SURVEY NOTES:

CONTROL POINT 101:

NORTHING: 3906070.607
EASTING: 4942046.668
ELEVATION: 517.81
REBAR AND CAP SET IN GRASS 73.3' FEET NORTHEASTERLY FROM SOUTHWEST CORNER OF THE PROPERTY, 33.8' SOUTHEASTERLY FROM A REBAR PROPERTY CORNER ON THE WEST SIDE OF PRESTON HIGHWAY, AND 11.7' WEST FROM THE CENTER OF A CATCH BASIN.

CONTROL POINT 102:

NORTHING: 3905977.502
EASTING: 4942181.783
ELEVATION: 521.59
REBAR AND CAP SET IN THE GRASS, APPROXIMATELY 2' BEHIND CONCRETE CURB ON THE WEST SIDE OF THE ENTRANCE FROM HEBRON ROAD, 4.7' FROM THE ENTRANCE SIGN.

PLAN KEYNOTES

- DEMOLISH EXISTING ASPHALT PAVEMENT
- SAWCUT AND REMOVE EXISTING CURB
- REMOVE EXISTING LIGHT POLE AND CAP ELECTRIC LINE
- REMOVE EXISTING TREE AND STUMP
- REMOVE EXISTING STRIPING

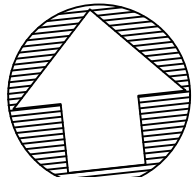
DEMOLITION LEGEND



LINEAR DEMOLITION



AREA DEMOLITION



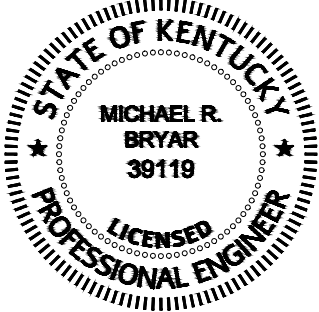
0 20 40 Feet
SCALE: 1" = 20'

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DATE:

EXISTING CONDITIONS & DEMOLITION

TEAMSTERS 2727
CIVIL SITE IMPROVEMENTS
4810 N PRESTON HWY
SHEPHERDSVILLE, KY 40165

01/09/2026

DESIGN PHASE
NOT FOR CONSTRUCTION

PROJECT NUMBER:

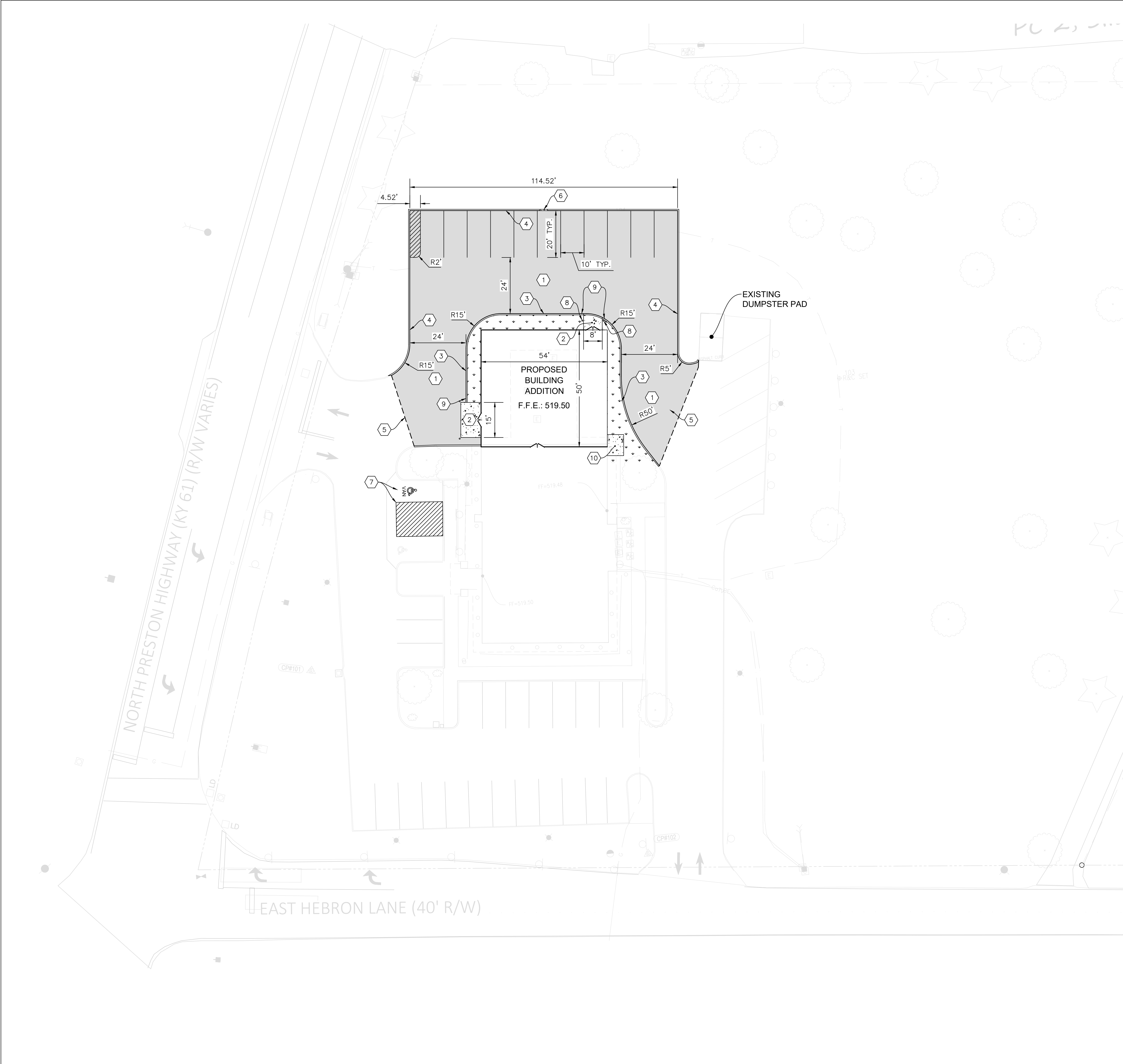
#	REVISION	DATE

DESIGNED BY:	KH
DRAWN BY:	KH
CHECKED BY:	MB

SHEET NO.:

C100

SHEET 3 OF 7



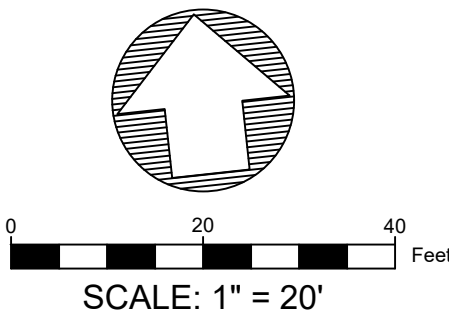
- PLAN KEYNOTES**
1. LIGHT DUTY ASPHALT PAVEMENT, SEE DETAIL 1 ON SHEET C600
 2. CONCRETE SIDEWALK / STOOP, SEE DETAIL 2 ON SHEET C600
 3. MOUNTABLE CONCRETE CURB, SEE DETAIL 3 ON SHEET C600
 4. CONCRETE VERTICAL CURB, SEE DETAIL 4 ON SHEET C600
 5. ASPHALT EDGE-KEY, SEE DETAIL 5 ON SHEET C600
 6. 3' CONCRETE CURB FLUME
 7. SOLID WHITE PAINT ADA PAVEMENT STRIPING, SEE DETAIL 6 ON SHEET C600
 8. DOWN-LIGHTING BOLLARDS, SEE DETAIL 7 ON SHEET C600
 9. CONCRETE CURB TAPER, SEE DETAIL 8 ON SHEET C600
 10. CONCRETE HVAC PAD, SEE DETAIL 9 ON SHEET C600

SITE DATA:

CURRENT ZONING:	B-2
PROPOSED ZONING:	B-2
SITE AREA:	2.95 AC (128,398.10 SF)
LIMITS OF DISTURBANCE:	0.36 AC (15,830.22 SF)
EXISTING BUILDING FOOTPRINT:	4,533 SF
PROPOSED BUILDING FOOTPRINT:	7,233 SF
EXISTING IMPERVIOUS AREA:	34,748.44 SF (0.27%)
PROPOSED IMPERVIOUS AREA:	40,513.10 SF (0.32%)
TOTAL AREA INCREASE:	5,764.66 SF
REQUIRED PARKING:	37 TOTAL SPACES (2 ADA)
REQUIRED ADA PARKING:	2 SPACE (1 VAN ACCESS.)
PROPOSED PARKING:	42 TOTAL SPACES (2 ADA)
PROPOSED ADA PARKING:	2 SPACES (1 VAN ACCESS.)

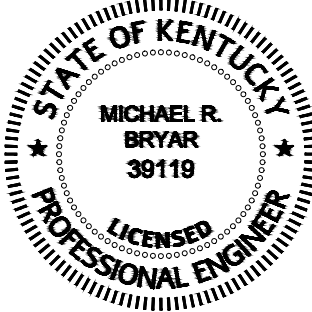
PROPOSED PAVEMENT LEGEND

	CONCRETE
	LIGHT-DUTY ASPHALT



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SITE LAYOUT
TEAMSTERS 2727
CIVIL SITE IMPROVEMENTS
4810 N PRESTON HWY
SHEPHERDSVILLE, KY 40165

DATE: 01/09/2026

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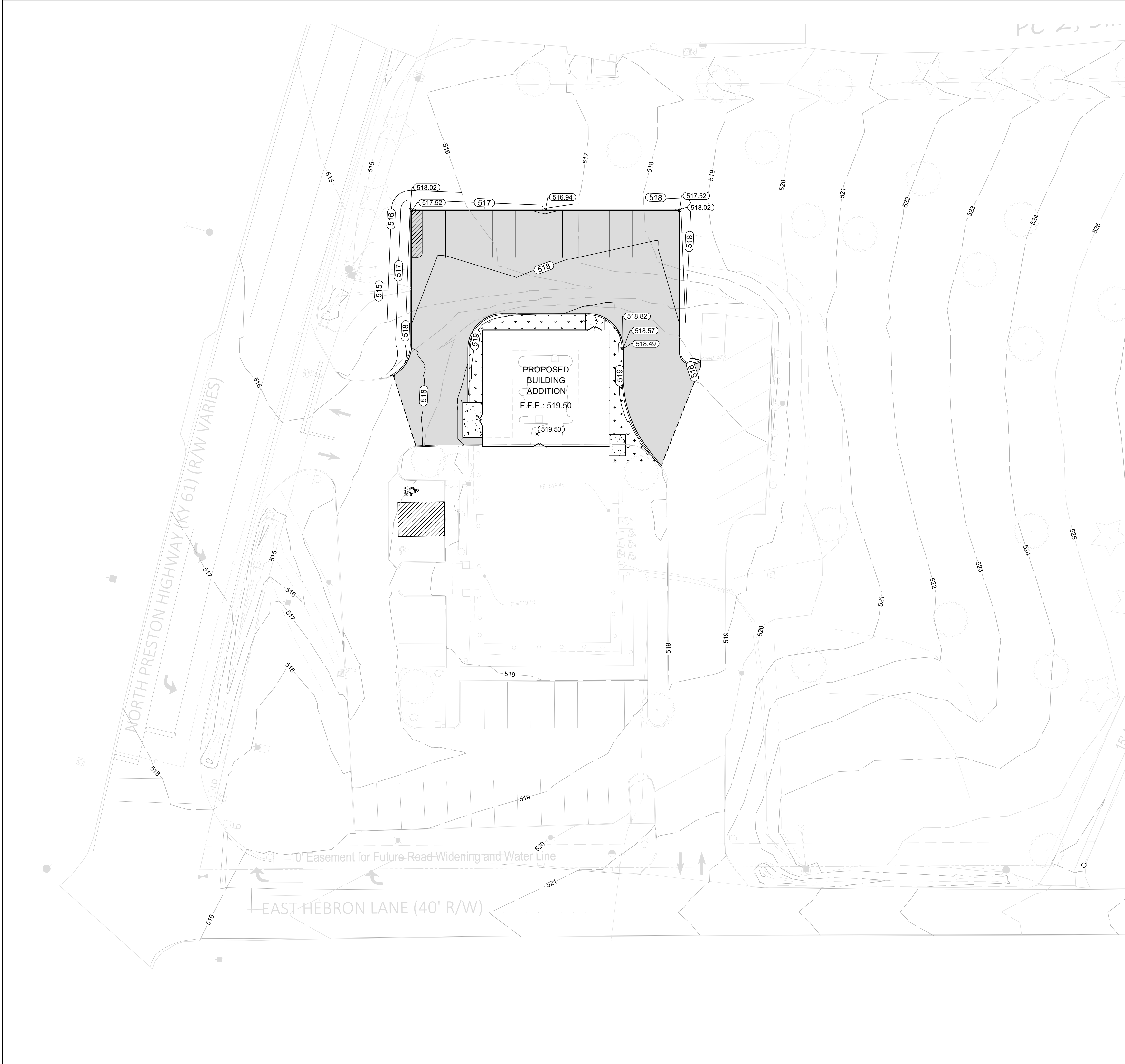
#	REVISION	DATE

DESIGNED BY:	KH
DRAWN BY:	KH
CHECKED BY:	MB

SHEET NO.:

C200

SHEET
4 OF 7



SITE DATA:

CURRENT ZONING:	B-2
PROPOSED ZONING:	B-2
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EARTHWORK DATA:

REQUIRED EARTHWORK:	422.78 CY FILL
PROPOSED EARTHWORK:	426.12 CY FILL

PROPOSED PAVEMENT LEGEND

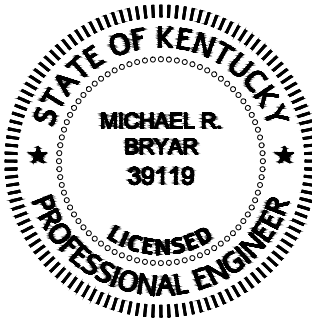
	CONCRETE
	LIGHT-DUTY ASPHALT

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DATE:

GRADING PLAN

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4810 N PRESTON HWY
SHEPHERDSVILLE, KY 40165

DATE: 01/09/2026

DESIGN PHASE
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PROJECT NUMBER:

#	REVISION	DATE

DESIGNED BY: KH

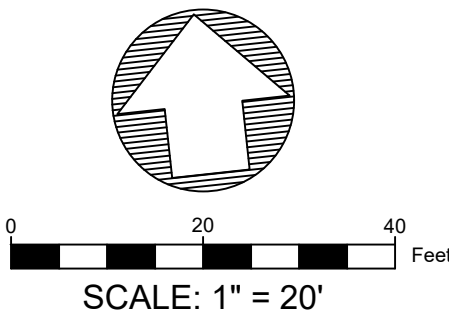
DRAWN BY: KH

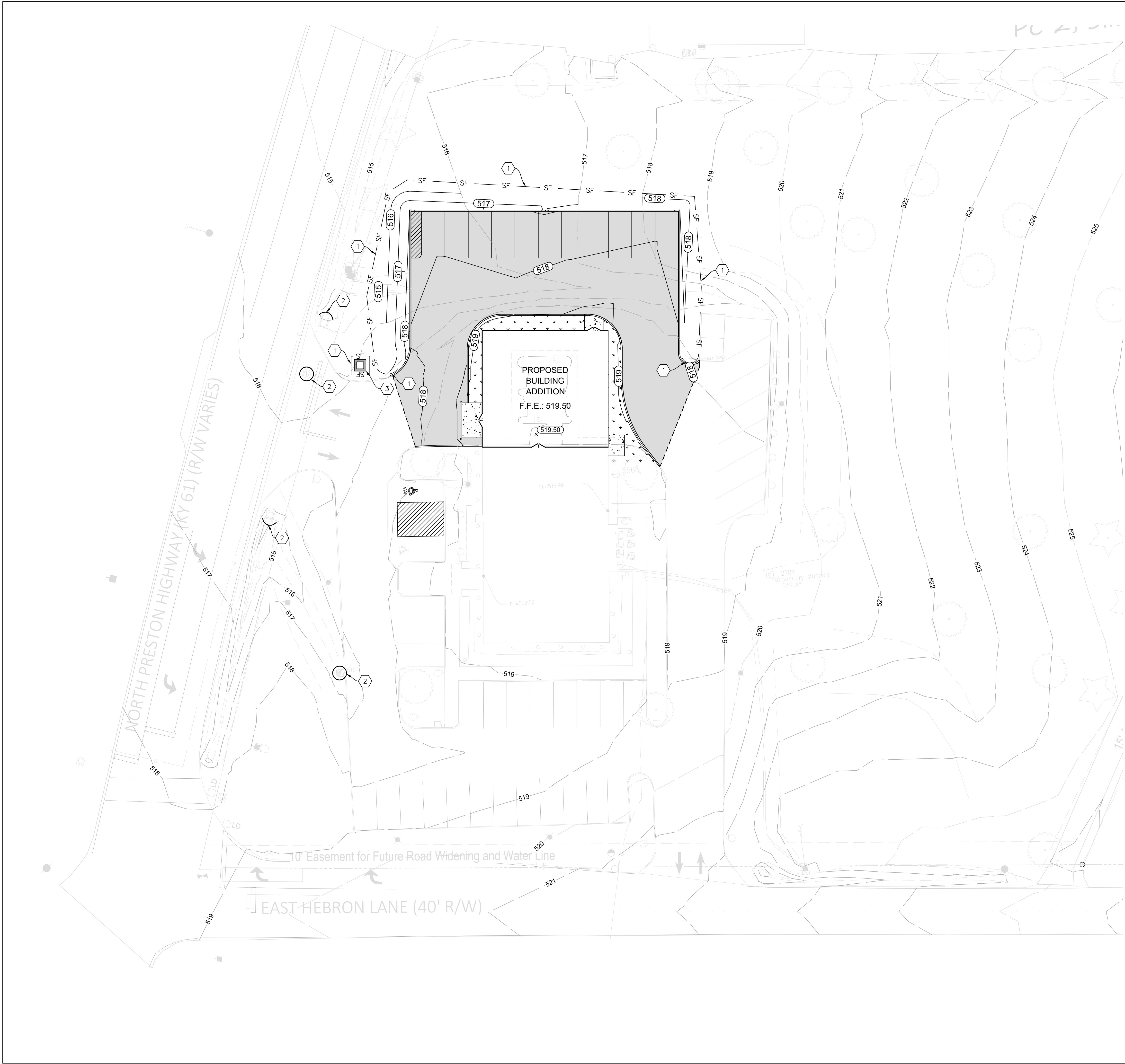
CHECKED BY: MB

SHEET NO.:

C300

SHEET
5 OF 7





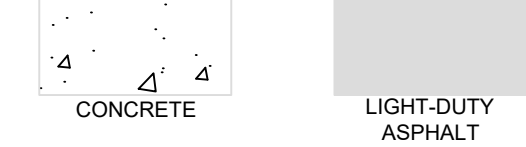
PLAN KEYNOTES

1. SILT FENCE, SEE DETAIL 10 ON SHEET C-600
2. STORM INLET PROTECTION, SEE DETAIL 11 ON SHEET C-600
3. CONCRETE WASHOUT, SEE DETAIL 12 ON SHEET C-600

SITE DATA:

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PROPOSED PAVEMENT LEGEND

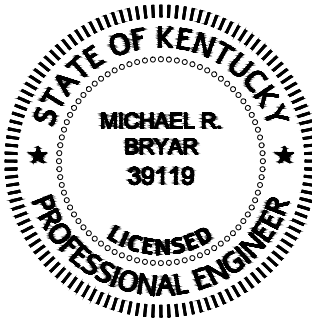


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DATE:

EPSC PLAN

TEAMSTERS 2727
CIVIL SITE IMPROVEMENTS
4810 N PRESTON HWY
SHEPHERDSVILLE, KY 40165

DATE: 01/09/2026

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PROJECT NUMBER:

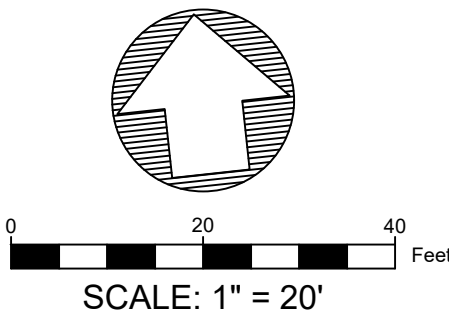
#	REVISION	DATE

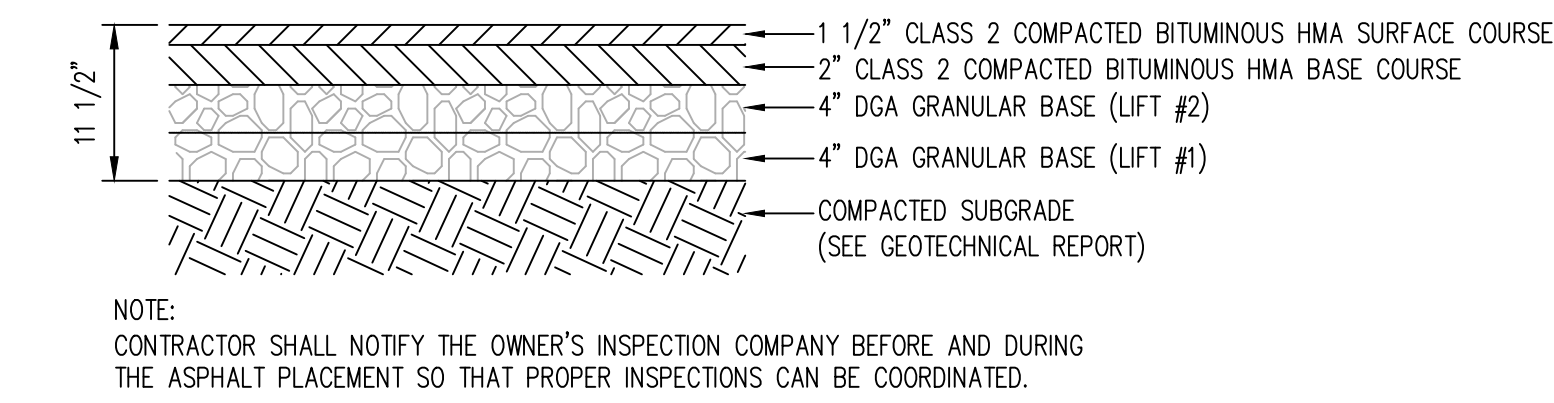
DESIGNED BY:	KH
DRAWN BY:	KH
CHECKED BY:	MB

SHEET NO.:

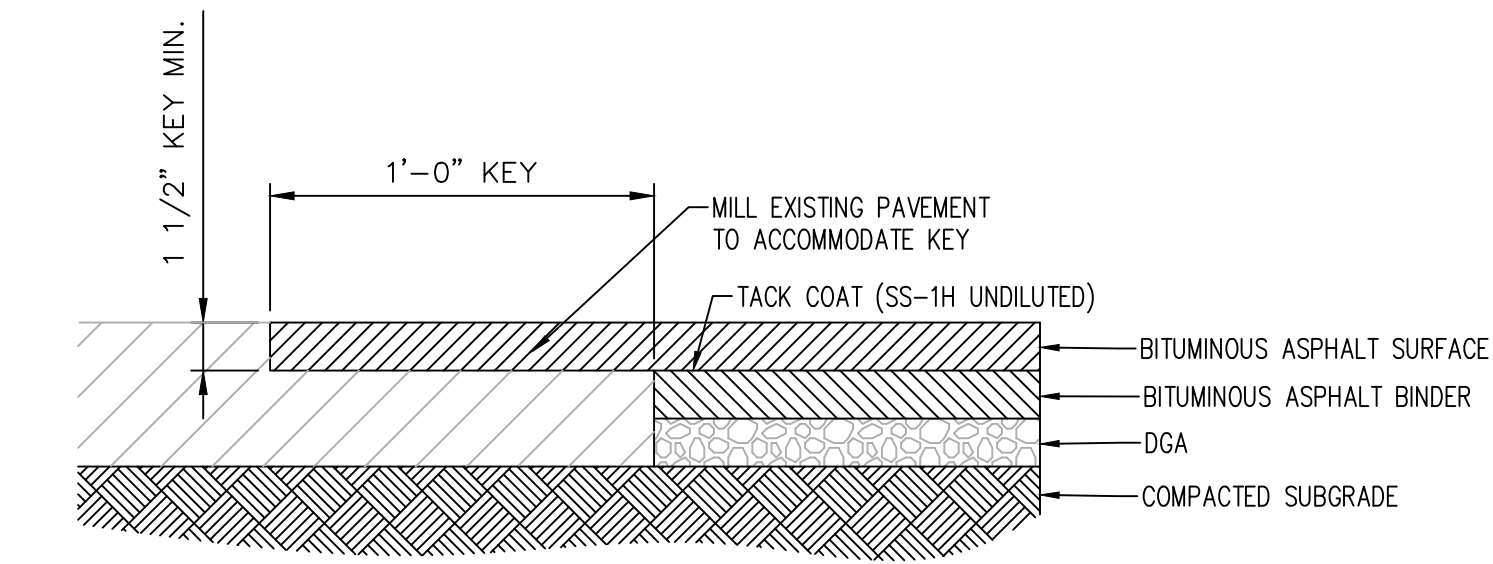
C400

SHEET
6 OF 7

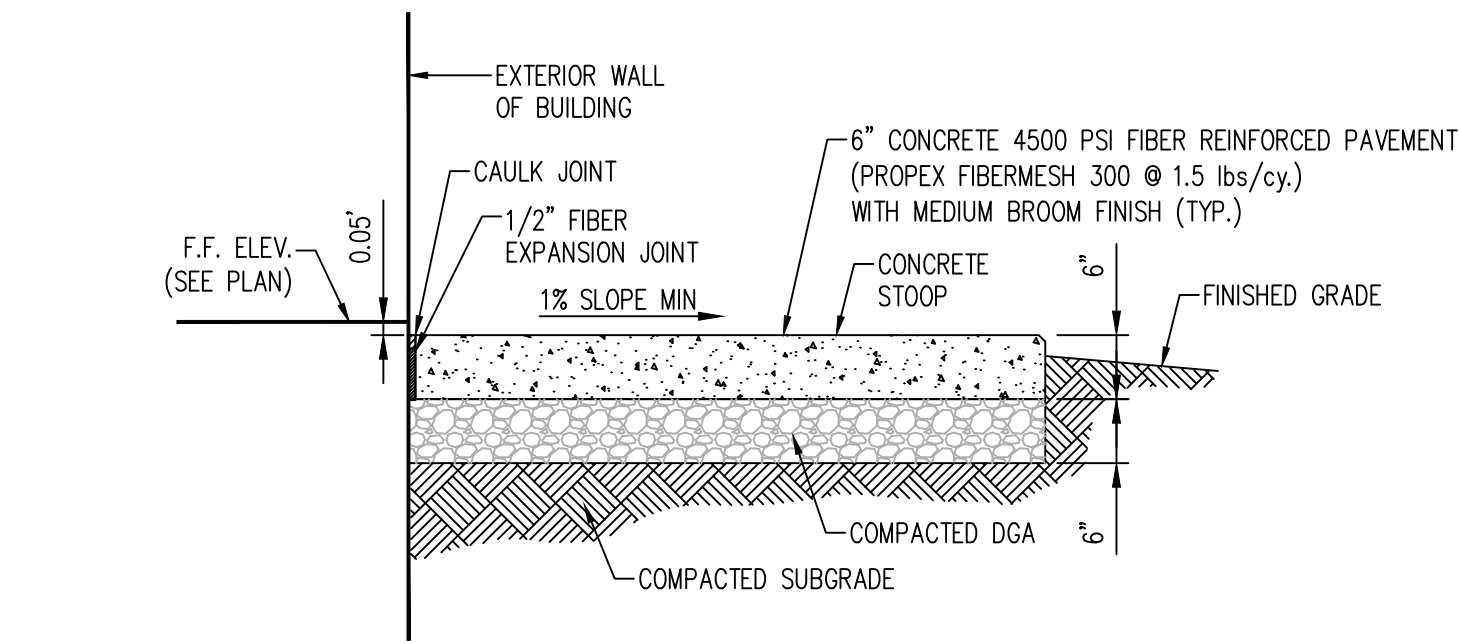




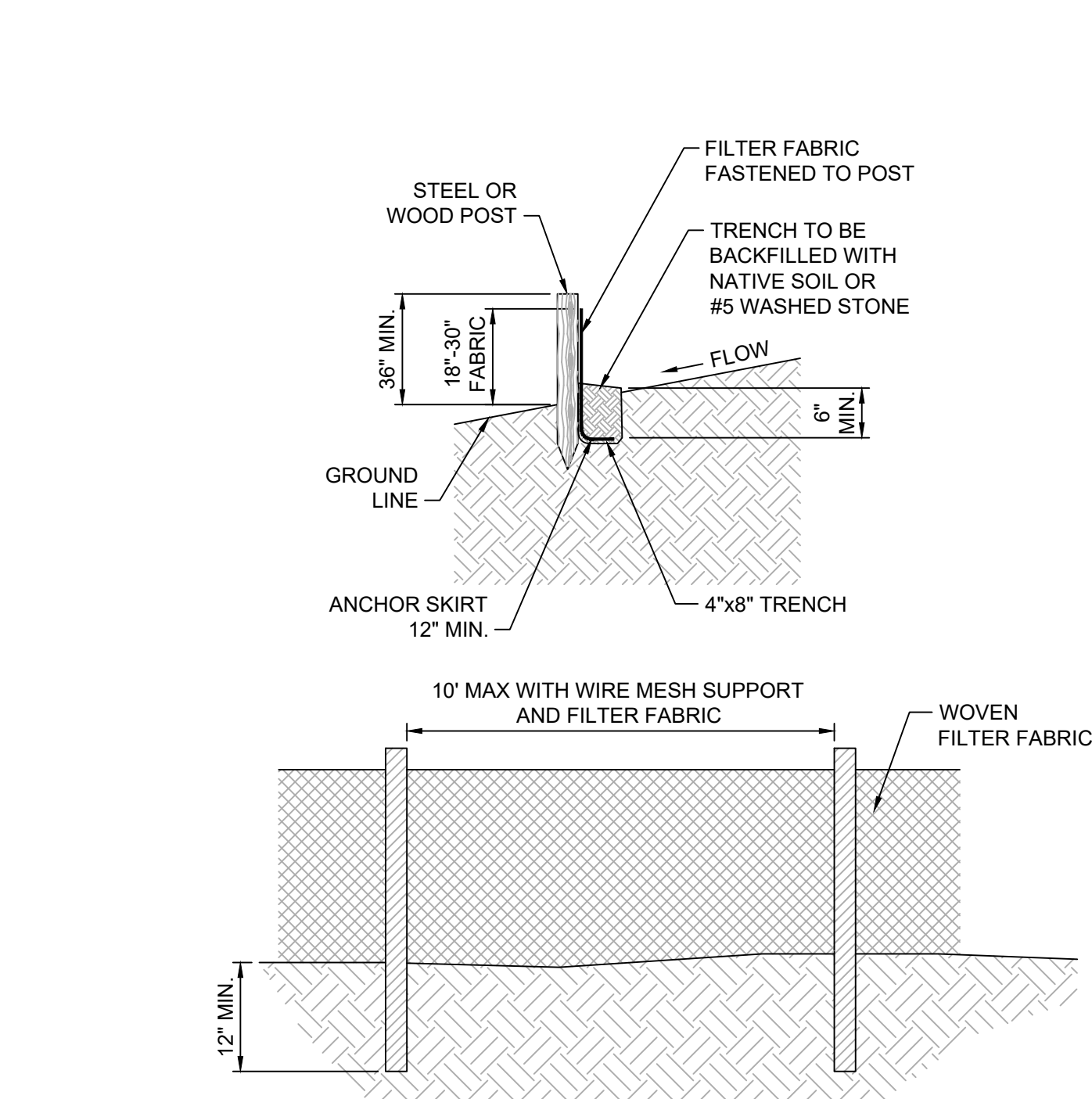
1 LIGHT DUTY ASPHALT PAVEMENT DETAIL
NO SCALE



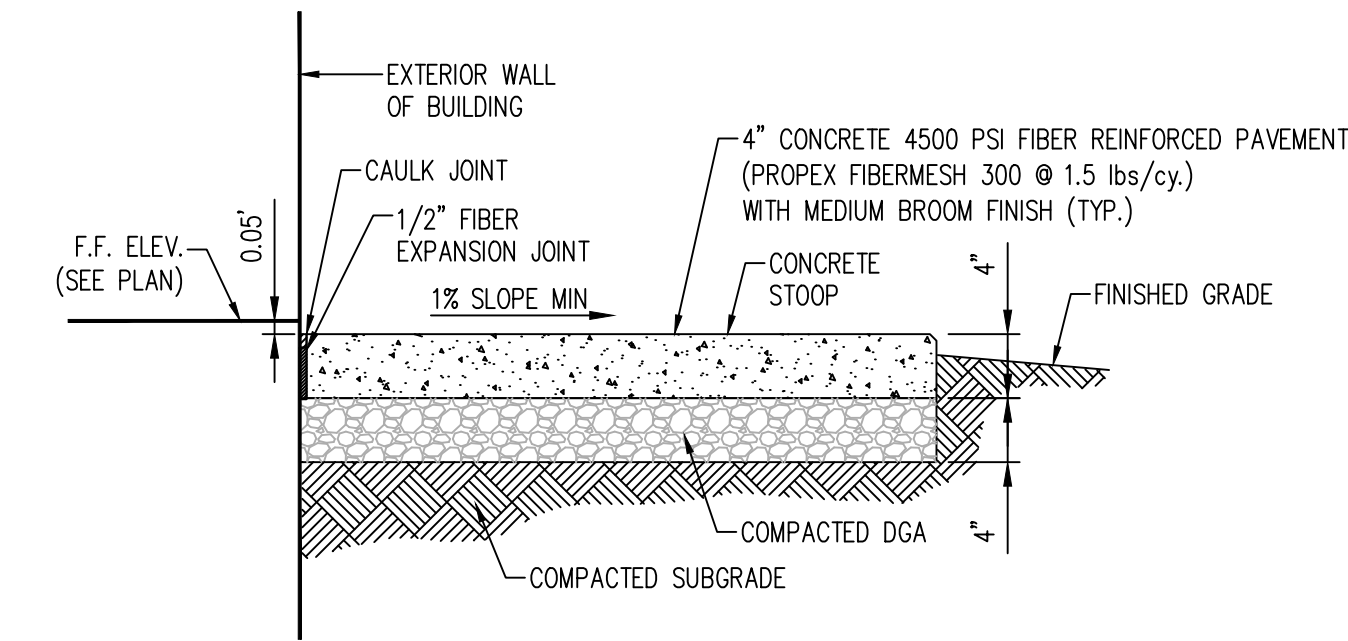
5 ASPHALT EDGE KEY DETAIL



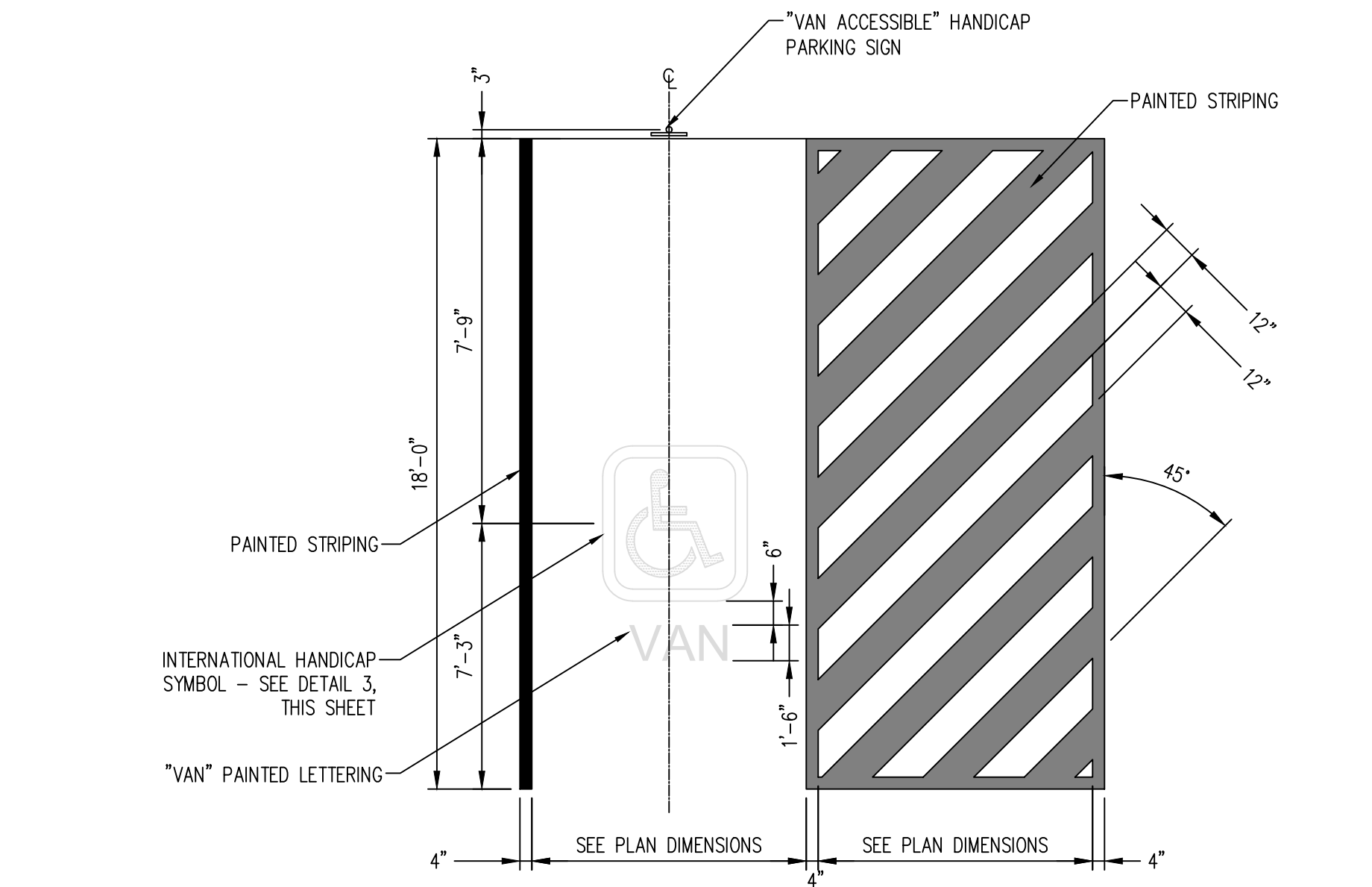
9 CONCRETE HVAC PAD DETAIL
NO SCALE



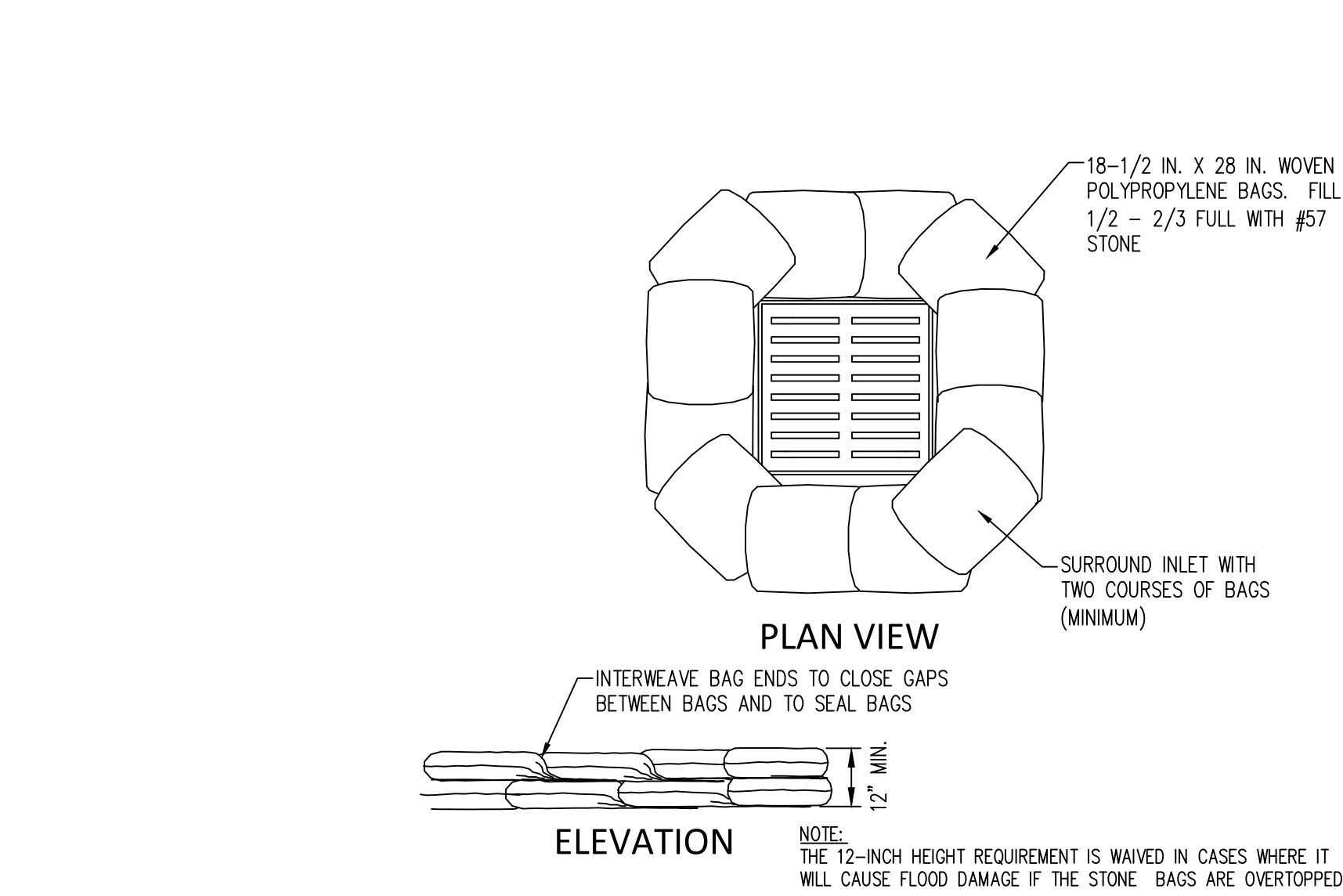
10 TEMPORARY SILT FENCE DETAIL



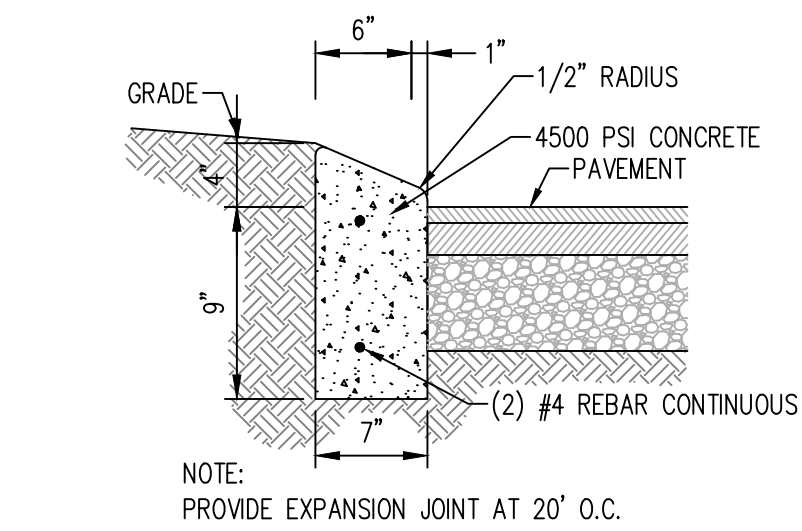
2 CONCRETE STOOP DETAIL
NO SCALE



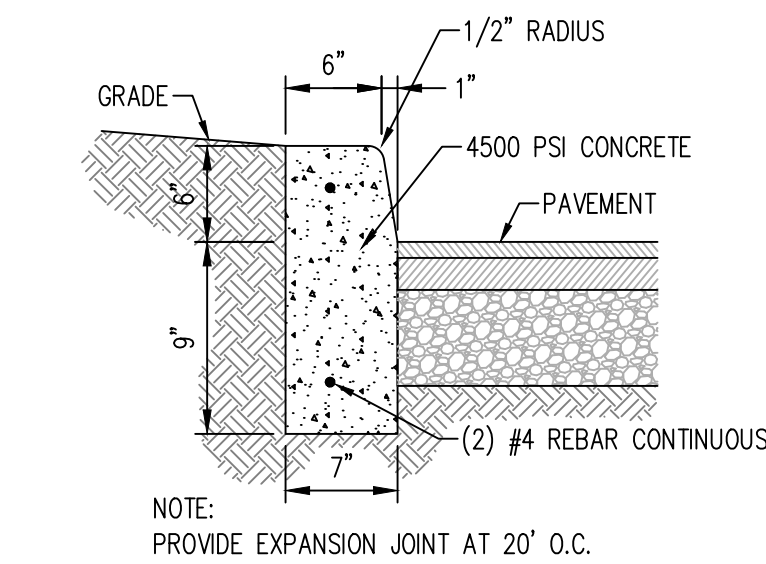
6 VAN ACCESSIBLE HANDICAP PARKING DETAIL



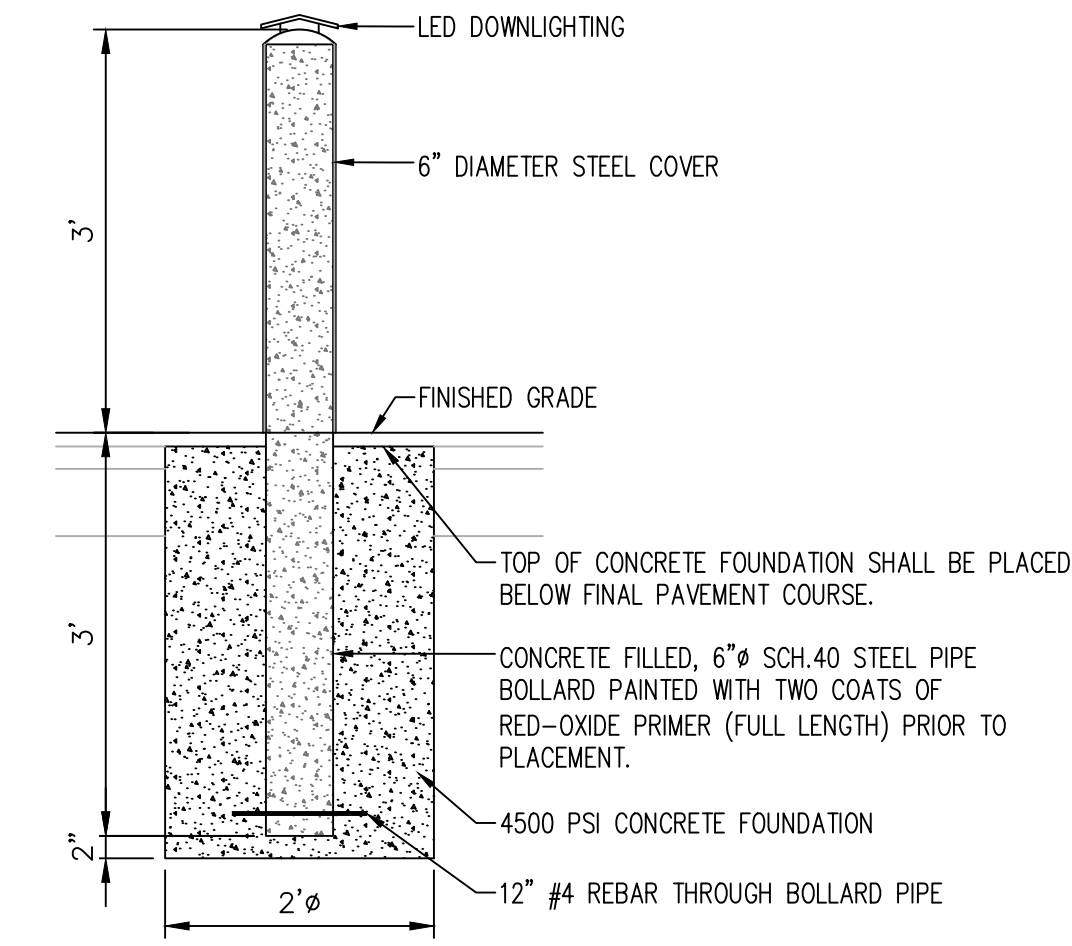
11 STORM INLET PROTECTION DETAIL



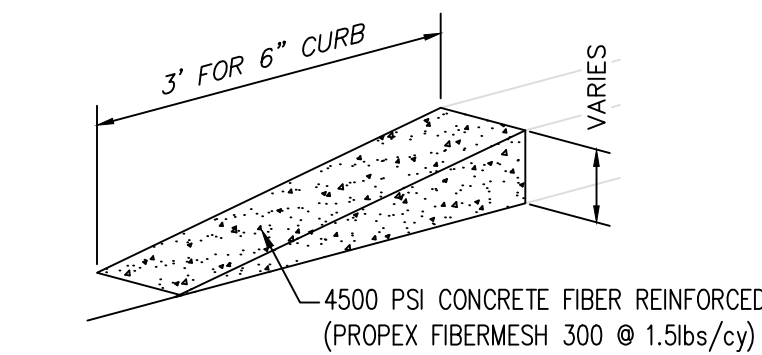
3 MOUNTABLE CONCRETE CURB DETAIL
NO SCALE



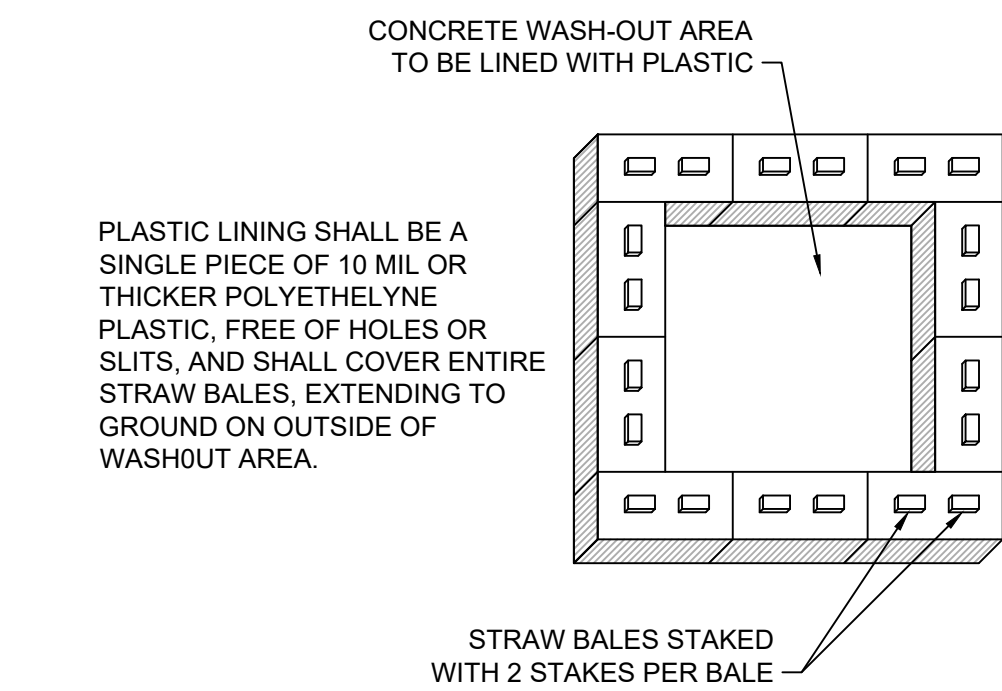
4 CONCRETE VERTICAL CURB DETAIL
NO SCALE



7 STEEL BOLLARD WITH DOWN LIGHTING DETAIL

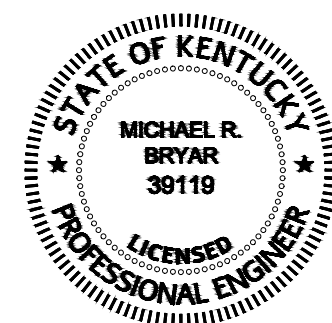


8 CONCRETE CURB TAPER DETAIL



12 CONCRETE WASHOUT DETAIL

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DATE:

CIVIL DETAILS

TEAMSTERS 2727
CIVIL SITE IMPROVEMENTS
4810 N PRESTON HWY
SHEPHERDSVILLE, KY 40165

DATE: 01/09/2026

DESIGN PHASE
NOT FOR CONSTRUCTION

PROJECT NUMBER:

#	REVISION	DATE

DESIGNED BY: KH

DRAWN BY: KH

CHECKED BY: MB

SHEET NO.:

C600

SHEET
7 OF 7

GENERAL CONDITIONS	
1. COORDINATE WITH ALL DRAWINGS FOR PERTINENT INFORMATION RELATED TO THE STRUCTURAL WORK. ANY CHANGES TO THE STRUCTURAL SYSTEMS SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER AT NO COST TO THE OWNER OR AE AND SUBMITTED TO THE AE FOR REVIEW. SUBMITTAL SHALL BE ACKNOWLEDGED IN WRITING BEFORE BEGINNING CONSTRUCTION.	
2. EQUIPMENT FRAMING LOADS, OPENINGS, AND STRUCTURE, IN ANY WAY RELATED TO HVAC, PLUMBING, PROCESS, ELECTRICAL, ELEVATOR, OR ESCALATOR REQUIREMENTS ARE SHOWN FOR BIDDING PURPOSES ONLY. CONTRACTOR SHALL OBTAIN APPROVAL OF THE PERTINENT TRADES BEFORE PROCEEDING WITH SUCH PORTION OF THE WORK. EXCESS COST RELATED TO VARIATION IN THESE REQUIREMENTS SHALL BE BORNE BY THE APPROPRIATE CONTRACTOR.	
3. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCES TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF TEMPORARY BRACING, SHORING, GUYS, OR TIE-DOWNS THAT MAY BE NECESSARY.	
4. THE STRUCTURE HAS BEEN DESIGNED FOR THE UNIFORM LOADS INDICATED IN ADDITION TO THE CONCENTRATED LOADS REQUIRED BY THE BUILDING CODE. THE STRUCTURAL DESIGN IS BASED SOLELY ON THE BUILDING IN ITS COMPLETED STATE. CONTRACTORS AND THEIR SUB-CONTRACTORS SHALL TAKE NECESSARY PRECAUTIONS TO WITHSTAND ALL HORIZONTAL AND VERTICAL LOADINGS THAT MAY BE ENCOUNTERED DURING CONSTRUCTION PRIOR TO COMPLETION OF THE BUILDING. SUCH CONSTRUCTION LOADINGS INCLUDE, BUT ARE NOT LIMITED TO, LOADS FROM CRANES, LIFTS, DOLLIES, AND HOISTS. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE EVALUATION OF THE IMPACT OF SUCH LOADS ON THE STRUCTURE AND PROVIDING TEMPORARY SHORING, BRACINGS, OR REINFORCEMENT AS REQUIRED.	
5. SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN ON THE STRUCTURAL DRAWINGS. ALL DIMENSIONS AND ELEVATIONS SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE CONTRACTOR AND SHALL CONFORM TO THOSE SHOWN ON THE ARCHITECTURAL DRAWINGS. REPORT ALL DISCREPANCIES TO THE AE FOR RESOLUTION BEFORE PROCEEDING.	
6. THE CONTRACTOR SHALL SUPPORT, BRACE, AND SECURE EXISTING STRUCTURES AS REQUIRED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF EXISTING STRUCTURES DURING CONSTRUCTION. FIELD VERIFY ALL EXISTING DIMENSIONS WHICH AFFECT THE NEW CONSTRUCTION PRIOR TO FINAL DETAILING AND FABRICATION OF NEW STRUCTURAL ELEMENTS.	

EXISTING CONDITIONS	
1. ALL EXISTING STRUCTURAL ELEMENTS (SLABS, BEAMS, WALLS, COLUMNS, FOUNDATIONS, ETC.) SHALL REMAIN INTACT UNLESS SPECIFICALLY NOTED TO BE REMOVED BY THE MOST RECENT DEMOLITION DOCUMENTS OR OTHERWISE NOTED ON THE STRUCTURAL DRAWINGS.	
2. INFORMATION PROVIDED ON THESE DRAWINGS RELATED TO EXISTING CONDITIONS IS BASED ON AVAILABLE DESIGN DOCUMENTS AND LIMITED FIELD OBSERVATION. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO AND AVOID DIRECTION FROM THE AE IF ANY DISCREPANCY BETWEEN THE CONTRACT DOCUMENTS AND THE EXISTING CONDITIONS IS DISCOVERED.	
3. THIS PROJECT REQUIRES A SIGNIFICANT AMOUNT OF DRILLING INTO THE EXISTING REINFORCED CONCRETE STRUCTURE. THE CONTRACTOR WILL NOT RECEIVE ADDITIONAL PAYMENT FOR DIFFICULTIES ENCOUNTERED IN DRILLING DUE TO HARDNESS OF MATERIALS, HITTING OF EXISTING REINFORCING, ETC.. ALL COSTS ASSOCIATED WITH REDRILLING OF HOLES DUE TO HITTING EXISTING REINFORCING STEEL SHALL BE BORNE BY THE CONTRACTOR. THIS INCLUDES FILING UNNECESSARY AND UNUSED HOLES WITH EPOXY GROUT. DO NOT CUT REINFORCING STEEL DURING CONCRETE DRILLING OR CORING OPERATIONS. LOCATE REINFORCING WITH A PACHOMETER OR OTHER NON-DESTRUCTIVE TESTING DEVICE PRIOR TO DRILLING OR CORING OPERATIONS.	
4. CORE DRILLS REQUIRED BY MECHANICAL OR ELECTRICAL TRADES, BUT NOT SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE DOCUMENTED IN SKETCH FORM SHOWING EXACT DIMENSIONS AND LOCATIONS. THE SKETCH SHALL BE SUBMITTED TO THE AE FOR COMMENT PRIOR TO PROCEEDING WITH THE DRILLING OPERATION.	
5. EXISTING SURFACE PREPARATION: INTENTIONALLY ROUGHEN EXISTING CONCRETE SURFACES WHERE NEW CONCRETE IS BEING PLACED AGAINST THE EXISTING CONCRETE AND CONNECTED BY DRILLING AND EPOXY GROUTING. THE ENTIRE COMMON SURFACE WHERE THE EXISTING CONCRETE ABUTS THE NEW SHALL BE COATED WITH AN EPOXY BONDING AGENT. FOLLOW ALL ADDITIONAL REQUIREMENTS OF SURFACE PREPARATION AS REQUIRED BY THE BONDING AGENT MANUFACTURER.	

CONCRETE MINIMUM LAP SPLICE AND ANCHORAGE DIMENSION TABLE					
USE THIS TABLE FOR A615 GRADE 60 REINFORCING WHEN CONCRETE CLEAR COVER AND CLEAR SPACING IS AT LEAST 4" AND CODE MINIMUM STIRRUPS ARE PROVIDED OR IF MINIMUM STIRRUPS ARE NOT PROVIDED, CLEAR SPACING IS AT LEAST 2d.					
(4000 PSI CONCRETE)			(3000 PSI CONCRETE)		
DEVELOPMENT LENGTH			DEVELOPMENT LENGTH		
BAR SIZE	TOP BARS	OTHER BARS	BAR SIZE	TOP BARS	OTHER BARS
#3	15"	12"	#3	18"	14"
#4	20"	16"	#4	23"	18"
#5	25"	19"	#5	29"	22"
#6	30"	23"	#6	35"	27"
#7	44"	34"	#7	50"	39"
#8	50"	38"	#8	57"	44"
#9	56"	43"	#9	65"	50"
#10	63"	49"	#10	73"	56"
#11	70"	54"	#11	81"	62"

NOTES:
• LAP LENGTHS SHALL BE 1.3 TIMES DEVELOPMENT LENGTH.
• FOR EPOXY COATED REINFORCING MULTIPLY THE TABLE VALUES ABOVE BY 1.5.
• (MC) DENOTES MECHANICAL COUPLER DEVELOPING 125% OF THE BAR YIELD STRENGTH. NO OTHER SPLICE WILL BE ACCEPTED.
• WHEN LAPPING TWO DIFFERENT SIZE BARS, USE THE LAP DIMENSION OF THE SMALLER BAR OR THE ANCHORAGE DIMENSION OF THE LARGER BARS, USE WHICHEVER DIMENSION IS LARGER.
• TOP BARS SHALL BE DEFINED AS BEAM AND SLAB HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE TOP REINFORCEMENT. HORIZONTAL REINFORCING IN WALLS SHALL BE CONSIDERED TOP BARS.

CONCRETE REINFORCING CLEAR COVER REQUIREMENTS	
CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND	3"
CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
#5 BAR AND SMALLER	1-1/2"
#6 BAR AND LARGER	2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND	
SLABS, JOISTS, AND WALLS (NOT LARGER THAN #1 BAR)	3/4"
BEAMS, COLUMNS, PIERS	1-1/2"
NOTE: CLEAR COVER DIMENSIONS LISTED ARE CODE-REQUIRED MINIMUMS. PROVIDE GREATER COVER WHERE SPECIFICALLY REQUIRED BY DETAILS.	

STRUCTURAL DESIGN CRITERIA	
1. GOVERNING CODE	KENTUCKY BUILDING CODE, 2018 EDITION
2. BUILDING RISK CATEGORY	II
3. DESIGN SOIL BEARING PRESSURE	2,000 PSF
4. MATERIAL STRENGTHS	
STRUCTURAL STEEL:	
ASTM A36 (Fy = 36 KSI)	- ROLLED STEEL PLATES, CHANNELS, ANGLES, BARS, AND RODS AS NOTED ON THE DRAWINGS.
REINFORCING STEEL:	
ASTM A615, GRADE 60	
CONCRETE:	
4000 PSI FOR ALL CONCRETE UNLESS SPECIFICALLY NOTED OTHERWISE.	
4500 PSI WITH ENTRAINED AIR FOR ALL CONCRETE PERMANENTLY EXPOSED TO THE WEATHER.	
3000 PSI FOR BUILDING FOOTINGS.	
MASONRY:	
1500 PSI FOR CLAY MASONRY	
2000 PSI FOR CONCRETE MASONRY	
5. DEAD LOADS	
ROOF	
TOP CHORD	
ASPHALT SHINGLES (2 LAYERS)	4.0 PSF
WOOD SHEATHING	1.5 PSF
FRAMING (PRE-ENGINEERED WOOD TRUSS @ 24" OC)	3.0 PSF
BOTTOM CHORD	
MEP (ALLOWANCE)	4.0 PSF
INSULATION	1.5 PSF
CEILING	1.0 PSF
TOTAL ROOF DEAD LOAD	15.0 PSF
6. LIVE LOADS	
ROOF	20.0 PSF
FLOOR	100.0 PSF
LIVE LOAD REDUCTIONS SHALL BE COMPUTED IN ACCORDANCE WITH THE BUILDING CODE. ROOF LIVE LOADS ARE NON-REDUCIBLE.	
7. DESIGN SNOW LOAD AND SNOW DRIFTING PARAMETERS ARE AS FOLLOWS:	
GROUND SNOW LOAD (P _g)	15.0 PSF
FLAT ROOF SNOW LOAD (P _f)	10.5 PSF
SNOW EXPOSURE FACTOR (C _e)	1.0
SNOW THERMAL FACTOR (C _t)	1.0
SNOW LOAD IMPORTANCE FACTOR	1.0
MINIMUM ROOF LIVE LOAD USED IN DESIGN	15.0 PSF
8. WIND LOAD DESIGN PARAMETERS ARE AS FOLLOWS:	
BASIC WIND SPEED (V), (3 SECOND GUST)	115 MPH
WIND EXPOSURE CATEGORY	B
INTERNAL PRESSURE COEFFICIENT	±0.18
9. SEE TABLE FOR COMPONENTS AND CLADDING LOAD CRITERIA. ALL ARCHITECTURAL AND STRUCTURAL COMPONENTS SHALL CONFORM WITH THE BUILDING CODE AND ASCE 7 FOR COMPONENTS AND CLADDING DESIGN.	

ROOF PRESSURES (PSF)				
AREA	ZONE 1	ZONE 2a	ZONE 2c	ZONE 3
10	16.0, -31.5	16.0, -40.6	16.0, -40.6	16.0, -49.7
25	16.0, -30.9	16.0, -38.3	16.0, -38.3	16.0, -42.3
50	16.0, -30.5	16.0, -36.6	16.0, -36.6	16.0, -36.7
100	16.0, -30.0	16.0, -34.8	16.0, -34.8	16.0, -31.1
500	16.0, -30.0	16.0, -33.1	16.0, -33.1	16.0, -25.5
WALL PRESSURES (PSF)				
AREA	INTERIOR ZONE	EDGE ZONE		
10	17.9, -19.4	17.9, -24.0		
25	16.8, -19.3	16.8, -21.8		
50	16.0, -17.5	16.0, -20.2		
100	16.0, -16.7	16.0, -18.6		
500	16.0, -16.0	16.0, -16.0		

ROOF PRESSURES (PSF)				
AREA	ZONE 1	ZONE 2a	ZONE 2c	ZONE 3
10	16.0, -31.5	16.0, -40.6	16.0, -40.6	16.0, -49.7
25	16.0, -30.9	16.0, -38.3	16.0, -38.3	16.0, -42.3
50	16.0, -30.5	16.0, -36.6	16.0, -36.6	16.0, -36.7
100	16.0, -30.0	16.0, -34.8	16.0, -34.8	16.0, -31.1
500	16.0, -30.0	16.0, -33.1	16.0, -33.1	16.0, -25.5
WALL PRESSURES (PSF)				
AREA	INTERIOR ZONE		EDGE ZONE	
10	17.9, -19.4		17.9, -24.0	
25	16.8, -18.3		16.8, -21.8	
50	16.0, -17.5		16.0, -20.2	
100	16.0, -16.7		16.0, -18.6	
500	16.0, -16.0		16.0, -16.0	

NOTES:

- END ZONE WIDTH IN FEET = 10% OF LEAST HORIZONTAL DIMENSION OR .4h
WHICHEVER IS SMALLER BUT NOT LESS THAN EITHER, 4% OF LEAST HORIZONTAL
DIMENSION OR 3'-0".

- h = MEAN ROOF HEIGHT, IN FEET, EXCEPT THAT EAVE HEIGHT SHALL BE USED FOR ROOF
ANGLES < 10 DEGREES.

10. SEISMIC LOAD DESIGN PARAMETERS ARE AS FOLLOWS:

WOOD CONSTRUCTION	
1. WOOD CONSTRUCTION SHALL CONFORM TO THE ANSHAF AND PA "NATIONAL SPECIFICATION FOR WOOD CONSTRUCTION".	
2. STRESS-GRADE LUMBER AND GLUE LAMINATED MEMBERS FOR JOISTS, BEAMS, TRUSSES, AND COLUMNS SHALL DEVELOP WORKING STRESSES AND A MODULUS OF ELASTICITY AS FOLLOWS:	
SPECIES	
BENDING	875 PSI
TENSION PARALLEL TO GRAIN	450 PSI
HORIZONTAL SHEAR	135 PSI
COMPRESSION PARALLEL TO GRAIN	1,150 PSI
COMPRESSION PERPENDICULAR TO GRAIN	425 PSI
MODULUS OF ELASTICITY	1,400 KSI
3. TOP AND BOTTOM WALL PLATE TO BE SAME SPECIES AND GRADE AS STUD.	
4. INTERIOR COLUMNS OR POSTS SHALL NOT BE PRESSURE TREATED, UNLESS NOTED OTHERWISE.	
5. INSTALL ROOF SHEATHING WITH FACE GRAIN PERPENDICULAR TO SUPPORT WITH 1/8" GAP AT PANEL JOINTS, FASTEN WITH 0.131"x2" NAILS AT 6" OC ALONG PANEL EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS.	
6. INSTALL FLOOR SHEATHING WITH FACE GRAIN PERPENDICULAR TO SUPPORT WITH 1/8" GAP AT PANEL JOINTS, FASTEN WITH CONCORDIUM NAIL AND 0.148"x2.1/4" RING SHANK NAILS AT 6" OC ALONG PANEL EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS.	
7. INSTALL SHEAR WALL SHEATHING WITH FACE GRAIN PARALLEL TO SUPPORTS, FASTEN WITH 0.131"x2" NAILS AT 6" OC ALONG PANEL EDGES AND 12" OC ALONG INTERMEDIATE SUPPORTS, UNO.	
8. ALL MULTIPLE MEMBER LVL (MICRO-LAM) BEAMS AND HEADERS ARE TO BE CONNECTED AS FOLLOWS: FOR TOP LOADED (2) MEMBER LAMINATIONS: (2) ROWS OF 0.131"x3" NAILS AT 12" OC FROM ONE SIDE. FOR TOP LOADED (3) MEMBER LAMINATIONS: (3) ROWS OF 0.131"x3" NAILS AT 12" OC FROM TWO SIDES. FOR SIDE LOADED (2) MEMBER LAMINATIONS: (3) ROWS OF 0.131"x3" NAILS AT 12" OC FOR SIDE LOADED (3) MEMBER LAMINATIONS: (2) ROWS OF 1/4"x3-1/2" SIMPSON S05 SCREWS AT 16" OC ON EACH SIDE OF BUILT UP MEMBER.	
9. PROVIDE BRIDGING FOR ALL TRUSSES AND JOISTS AT MAXIMUM SPACING OF 8'-0" OC.	
10. AT BILL OR SOLE PLATE CONNECTIONS TO FOUNDATION, PROVIDE 1/2" DIAMETER x 6' LONG (MIN) MECHANICALLY GALVANIZED SIMPSON TITEN HD ANCHOR BOLTS AT 4'-0" ON CENTER, UNLESS NOTED OTHERWISE. MINIMUM TWO BOLTS REQUIRED PER PLATE SECTION INCLUDING ONE BOLT NOT LESS THAN 4" AND NOT MORE THAN 12" FROM EACH END OF EACH PLATE SECTION. MINIMUM ANCHOR EMBEDMENT TO BE 4-1/2" UNLESS NOTED OTHERWISE. ANCHOR BOLTS TO BE LOCATED IN MIDDLE THIRD OF THE PLATE.	
11. PROVIDE ADDITIONAL WALL STUDS AT ALL LVL, PSL, AND GIRDER TRUSS BEARING LOCATIONS. WIDTH OF WALL STUDS SHALL MATCH OR EXCEED THE WIDTH OF THE LVL, PSL, OR GIRDER TRUSS BEARING ABOVE.	
12. PROVIDE SOLID BLOCKING IN FLOOR SPACE BELOW ALL COLUMNS, JACK STUDS, AND MULTIPLE WALL STUDS TO WALL STUDS OR FOUNDATION WALL BELOW TO TRANSFER LOADS THROUGH THE FLOOR FRAMING.	
13. THE INTENT OF THE FRAMING PLAN IS TO PROVIDE MEMBER SIZES, SPACING AND GENERAL LOCATION. ADJUSTMENTS WILL BE REQUIRED TO THE NUMBER AND LOCATION OF MEMBERS BASED ON FIELD CONDITIONS AND COORDINATION ISSUES WITH THE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS. MEMBER SPANS AND SPACING MAY NOT BE INCREASED WITH THE PERMISSION OF THE STRUCTURAL ENGINEER.	
14. THE CONNECTIONS INDICATED ARE BASED ON SIMPSON STRONG-TIE PRODUCTS WHICH REPRESENT THE TYPE OF CONNECTION AND LOAD CAPACITY REQUIRED. SUBSTITUTIONS WILL BE CONSIDERED PROVIDED DOWNWARD, UPLIFT AND LATERAL LOAD CAPACITY IS EQUAL TO THE SPECIFIED CONNECTORS. PROPOSED CONNECTOR SUBSTITUTIONS SHALL INCLUDE A COMPARISON OF THE LOAD CAPACITY OF EACH PROPOSED CONNECTOR WITH EACH SPECIFIED CONNECTOR SEALED BY A LICENSED ENGINEER IN THE STATE THE PROJECT IS LOCATED.	
15. PROVIDE PRESERVATIVE PRESSURE TREATED WOOD AS INDICATED AND WHERE IN CONTACT WITH CONCRETE, MASONRY, OR EXPOSED TO EARTH OR WEATHER. AMPA U1 USING AMMONIACAL COPPER ZINC ARSINATE (ACZA), AMMONIACAL OR AMINE COPPER QUAT (ACQ), OR AMMONIACAL COPPER CITRATE (ACC). TREAT ALL WOOD PER AMPA STANDARD C-2 AS FOLLOWS: ABOVE GROUND USE: PROVIDE 0.25 POUND PER CUBIC FOOT OF WOOD BELOW GROUND USE: PROVIDE 0.40 POUND PER CUBIC FOOT OF WOOD	
16. STUDS SHALL BE DOUBLED AT ALL ANGLES, CORNERS, AND AROUND ALL OPENINGS.	
17. ALL NAILING NOT INDICATED OTHERWISE SHOULD BE IN ACCORDANCE WITH THE BUILDING CODE.	

CAST-IN-PLACE CONCRETE	
1. CAST-IN-PLACE CONCRETE WORK SHALL CONFORM TO THE PROJECT MANUAL AND AMERICAN CONCRETE INSTITUTE CODES AND STANDARDS, INCLUDING, BUT NOT LIMITED TO, ACI 301, ACI 318, AND ACI 318.	
2. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 1064/A 1064M DELIVERED IN FLAT SHEETS.	
3. THE CONTRACTOR SHALL REVIEW ALL DRAWINGS FOR SIZE AND LOCATION OF ALL EMBEDDED ITEMS, SLEEVES, SLAB DEPRESSIONS, OPENINGS, ETC. REQUIRED BY OTHER TRADES. RECONCILE THEIR EXACT SIZES AND LOCATIONS BEFORE PROCEEDING WITH THE WORK. ALL ITEMS SHALL BE FURNISHED AND INSTALLED PRIOR TO PLACEMENT OF CONCRETE. SECURE THE APPROVAL OF THE STRUCTURAL ENGINEER PRIOR TO PLACING OPENINGS NOT SHOWN ON THE STRUCTURAL DRAWINGS. DO NOT CORE DRILL THROUGH BEAMS, JOISTS, GIRDERS, OR WALLS. NO CONDUIT SHALL BE PLACED IN CONCRETE SLABS OR BEAMS UNLESS SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS.	
4. BACKFILL AGAINST WALLS SHALL NOT BE PLACED UNTIL THE FLOOR CONSTRUCTION AT THE FIRST FLOOR HAS BEEN COMPLETED TO BRACE THE WALL. AT THE CONTRACTORS OPTION, WALLS MAY BE BRACED AND BACKFILL INSTALLED. ANY SUCH BRACING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL THE FIRST FLOOR IS COMPLETED AND CONTINUOUSLY CONNECTED TO THE WALL.	
5. WHERE BAR LENGTHS ARE GIVEN ON THE DRAWINGS, THE LENGTH OF ANY HOOK, IF REQUIRED, IS NOT INCLUDED. USE STANDARD 90° BAR HOOK UNO.	
6. PROVIDE HORIZONTAL CONTROL/CONSTRUCTION JOINTS IN SLABS AND VERTICAL CONTROL/CONSTRUCTION JOINTS IN WALLS AS SHOWN ON THE DRAWINGS. ALL BEAMS, SPANDRELS, AND SLABS SHALL BE CAST MONOLITHICALLY, EXCEPT FOR REQUIRED CONTROL/CONSTRUCTION JOINTS SHOWN ON THE DRAWINGS. CONTRACTOR SHALL SUBMIT ALTERNATE AND ADDITIONAL CONSTRUCTION JOINT LOCATIONS AND DETAILS TO THE AE FOR APPROVAL PRIOR TO CONSTRUCTION. AT LEAST 48 HOURS SHALL ELAPSE BETWEEN CASTING OF ADDING UNITS. REINFORCEMENT SHALL BE CONTINUOUS ACROSS CONSTRUCTION JOINTS UNLESS DETAILED OTHERWISE ON THE DRAWINGS. SUBMIT ALL CONSTRUCTION JOINT LOCATIONS WITH THE REINFORCING SHOP DRAWINGS.	
7. WHERE CONSTRUCTION JOINTS ARE REQUIRED BUT ARE NOT INDICATED ON THE DRAWINGS, THEY SHALL BE LOCATED AT THE MID-SPAN OF BEAMS, SLABS AND WALLS, AND SHALL BE SUBJECT TO REVIEW BY THE AE, UNO OR SHOWING ON THE DRAWINGS, PROVIDE A CONTINUOUS SHEAR KEY IN SLABS AND WALLS, AND A MINIMUM OF (2) CONTINUOUS HORIZONTAL KEYS IN BEAMS AND EACH JOIST. THE MINIMUM KEY SIZE SHALL BE 1-1/2" DEEP X 1/3 THE DEPTH OR WIDTH OF THE MEMBER.	
8. THE CONTRACTOR SHALL PROVIDE 3/4" CHAMBERS ON ALL EXPOSED CORNERS OF COLUMNS, BEAMS, AND WALLS UNO INDICATED ON THE ARCHITECTURAL DRAWINGS. MINIMUM CLEARANCES FOR REINFORCING STEEL SHALL CONFORM WITH THE TYPICAL REINFORCING BAR CLEARANCE TABLE.	
9. THE HARDENED CONCRETE OF HORIZONTAL CONSTRUCTION JOINTS SHALL BE DAMPENED AND THEN THOROUGHLY COVERED WITH A COAT OF CEMENT GROUT OF SIMILAR PROPORTIONS TO THE MORTAR IN THE CONCRETE. THE FRESH CONCRETE SHALL BE PLACED BEFORE THE GROUT HAS ATTAINED ITS INITIAL SET.	
10. THE HARDENED CONCRETE OF CONSTRUCTION JOINTS SHALL BE THOROUGHLY COATED WITH A BONDING AGENT (SIKA ARMATEC 110 OR EQUAL).	
11. WELDING OF REINFORCING STEEL IS NOT PERMITTED.	
12. COMPLY WITH THE ARCHITECTURAL DRAWINGS FOR LOCATION AND EXTENT OF SPECIAL FINISHES OR TREATMENTS TO EXPOSED CONCRETE.	
13. PROVIDE 6X6-W1.4XW1.4 WELDED WIRE FABRIC IN ALL TOPPING SLABS, UNO.	
14. LAP WELDED WIRE FABRIC 1 SPACE (2 CROSS WIRES) & 2" AT ALL EDGES AND ENDS OF SHEETS.	
15. REINFORCING BAR LAP SPLICES AND ANCHORAGE LENGTHS SHALL CONFORM WITH "MINIMUM LAP SPLICE AND ANCHORAGE DIMENSION TABLE"	

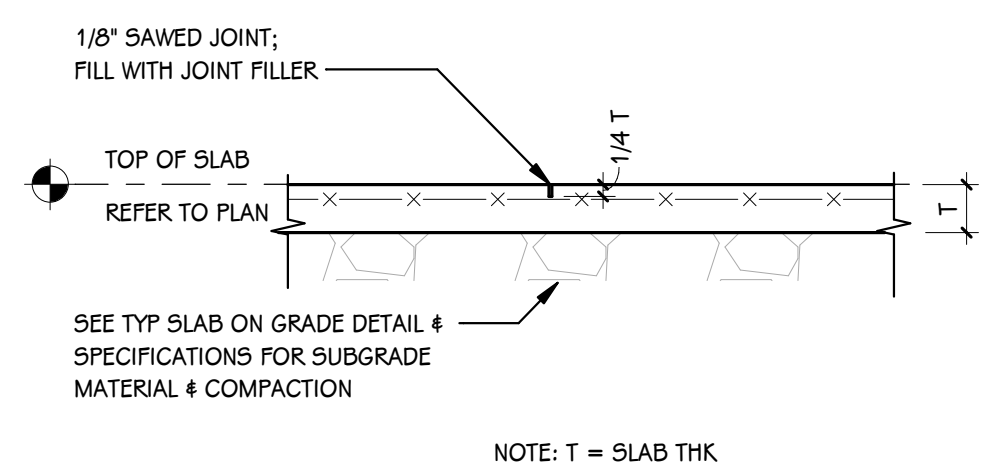
PRE-FABRICATED WOOD TRUSS	
1. PRE-FABRICATED WOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE "NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" AS RECOMMENDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.	
2. DESIGN OF MEMBERS AND CONNECTIONS SHALL BE DONE BY A REGISTERED PROFESSIONAL ENGINEER, REGISTERED IN THE JURISDICTION OF THE PROJECT, EXPERIENCED IN SIMILAR DESIGN AND RETAINED BY THE MANUFACTURER.	
3. DESIGN LOADS SHALL BE PER THE STRUCTURAL DESIGN CRITERIA.	
4. TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING DEFLECTION CRITERIA: ROOF TRUSS: VERTICAL TOTAL LOAD DEFLECTION OF L/240 ROOF TRUSS: VERTICAL LIVE LOAD DEFLECTION OF L/360 SCISSOR TRUSS: MAXIMUM HORIZONTAL DEFLECTION OF 1/4" FLOOR TRUSS: VERTICAL TOTAL LOAD DEFLECTION OF L/360 FLOOR TRUSS: VERTICAL LIVE LOAD DEFLECTION OF L/480	
5. COMPLY WITH APPLICABLE REQUIREMENTS AND RECOMMENDATIONS OF THE TRUSS PLATE INSTITUTE (TPI) AND APPLICABLE REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) PUBLICATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION".	
6. ERECT AND BRACE TRUSSES TO COMPLY WITH APPLICABLE REQUIREMENTS OF REFERENCE TPI STANDARDS.	
7. ROOF TRUSS SUBMITTAL TO INCLUDE NET UPLIFT REACTIONS AT EACH END OF EVERY TRUSS. HURRICANE TIES WILL BE SIZED ON THE RESPONSE OF THE ROOF TRUSS SUBMITTAL. AT MINIMUM, PROVIDE (1) SIMPSON H2.5A TIE OR (1) SDWC15600 TRUSS SCREW AT EACH ROOF TRUSS AND RAFTER BEARING. PROVIDE SIMPSON TB TRUSS BEARING ENHANCER TIE AT GIRDER TRUSS TO BEARING AS REQUIRED.	
8. ALL TRUSS SIZES, AND CONNECTIONS, ARE ASSUMED. NOTIFY ENGINEER IF THAT IT IS DETERMINED THAT ASSUMED SIZES OR CONNECTIONS WILL NOT MEET DESIGN CRITERIA.	
9. TRUSS TO TRUSS CONNECTIONS SIZED BY TRUSS SUPPLIER ARE TO INCLUDE CONNECTOR MANUFACTURER, DESIGNATION, AND REQUIRED FASTENING IN SUBMITTAL.	

FOUNDATIONS	
1. FOUNDATIONS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE SUBSURFACE INVESTIGATION REPORT BY CORNERSTONE ENGINEERING, PROJECT CGS-25-0247, DATED OCTOBER 27, 2025. THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE SURVEY AND SUBSURFACE INVESTIGATION REPORT PRIOR TO BIDDING AND BEFORE BEGINNING CONSTRUCTION.	
2. THE SUBSURFACE INVESTIGATION IS FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE CONSIDERED PART OF THE CONTRACT DOCUMENTS. FURTHERMORE, NO WARRANTY IS MADE BY THE OWNER WITH REGARD TO COMPLETENESS AND ACCURACY OF SUBSURFACE INVESTIGATION DATA, STATEMENTS, AND INTERPRETATIONS GIVEN IN REPORT.	
3. NOTIFY THE AE AS SOON AS POSSIBLE OF ANY UNUSUAL SOIL CONDITIONS OR SOIL CONDITIONS AT VARIANCE WITH TEST BORINGS, SUCH AS UNEXPECTED SPRING OR SEEPAGE WATER, MATERIAL DIFFERING FROM TEST BORINGS, OR SOIL OF QUESTIONABLE BEARING CAPACITY.	
4. SET FOUNDATIONS AT THE ELEVATIONS SHOWN ON THE DRAWINGS ON FIRM SUBGRADE PREPARED PER THE EARTHWORK SPECIFICATIONS. VERIFY THAT EACH FOOTING PLACED IS BEARING ON MATERIAL WITH THE DESIGN BEARING CAPACITY PER THE SUBSURFACE INVESTIGATIVE REPORT.	
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND FINAL CLEARANCE OF ANY REQUIRED NEEDLING, UNDERPINNING, SHORING, OR BRACING OF EXISTING STRUCTURES.	

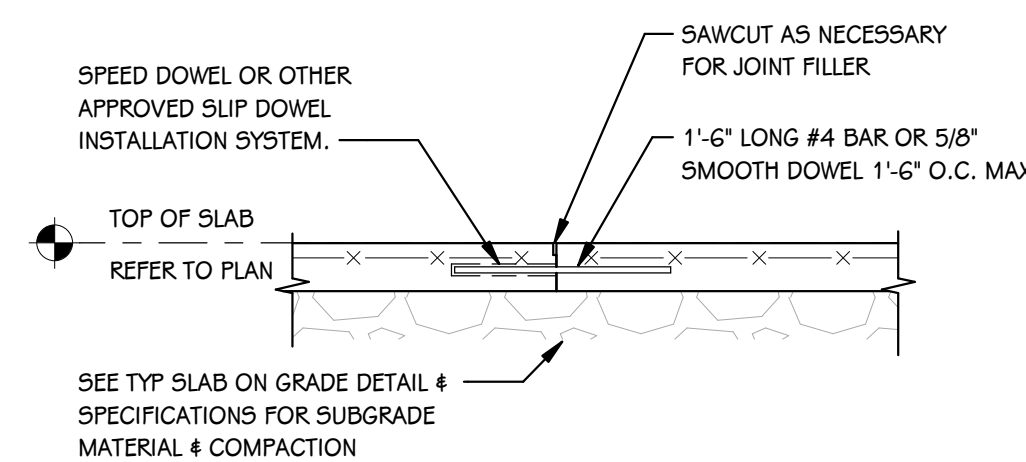
GENERAL NOTES REGARDING SPECIAL INSPECTIONS AND TESTS		
1. SPECIAL INSPECTIONS ARE IN ADDITION TO INSPECTIONS BY THE BUILDING OFFICIAL THAT ARE IDENTIFIED IN SECTION 110 OF THE BUILDING CODE. SPECIAL INSPECTIONS DO NOT RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE CONTRACT DOCUMENTS.		
2. CONTINUOUS SPECIAL INSPECTION IS DEFINED AS SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS PRESENT CONTINUOUSLY WHEN AND WHERE THE WORK TO BE INSPECTED IS BEING PERFORMED.		
3. PERIODIC SPECIAL INSPECTION IS DEFINED AS SPECIAL INSPECTION BY THE SPECIAL INSPECTOR WHO IS INTERMITTENTLY PRESENT WHERE THE WORK TO BE INSPECTED HAS BEEN OR IS BEING PERFORMED. THE FREQUENCY OF THESE SPECIAL INSPECTION TASKS SHALL BE ADEQUATE TO DETERMINE THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.		
4. WHERE A SPECIAL INSPECTION TASK IS NOTED AS "OBSERVE," THE SPECIAL INSPECTOR SHALL OBSERVE THESE ITEMS ON A RANDOM BASIS. OPERATIONS NEED NOT BE DELAYED PENDING THESE INSPECTIONS. THE FREQUENCY OF THESE SPECIAL INSPECTION TASKS SHALL BE ADEQUATE TO DETERMINE THAT THE WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.		
5. WHERE A SPECIAL INSPECTION TASK IS NOTED AS "PERFORM," THE TASK SHALL BE PERFORMED FOR EACH MEMBER, JOINT, OR ELEMENT PRIOR TO FINAL ACCEPTANCE.		
6. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON EMPLOYED OR RETAINED BY AN APPROVED AGENCY AND APPROVED BY THE BUILDING OFFICIAL AS HAVING THE COMPETENCE NECESSARY TO INSPECT A PARTICULAR TYPE OF CONSTRUCTION REQUIRING SPECIAL INSPECTION.		
7. THE PERIOD OF TIME BETWEEN SPECIAL INSPECTIONS CAN VARY GREATLY DEPENDING ON THE TYPE OF INSPECTION DONE, THE PACE OF CONSTRUCTION, THE QUALITY OF WORKSMANSHIP, AND OTHER FACTORS. IT IS THE RESPONSIBILITY OF THE SPECIAL INSPECTOR TO PROVIDE INSPECTIONS AT AN APPROPRIATE FREQUENCY AND AT APPROPRIATE TIMES DURING CONSTRUCTION. THE SPECIAL INSPECTOR MUST HAVE ADEQUATE EXPERIENCE AND EXHIBIT PROFESSIONAL JUDGEMENT IN DETERMINING THE TIMING AND FREQUENCY OF INSPECTIONS.		
8. PRIOR TO THE START OF CONSTRUCTION, THE APPROVED SPECIAL INSPECTION AGENCY SHALL SUBMIT WRITTEN DOCUMENTATION TO THE BUILDING OFFICIAL DEMONSTRATING THE COMPETENCE AND RELEVANT EXPERIENCE OR TRAINING OF THE SPECIAL INSPECTORS WHO WILL PERFORM THE SPECIAL INSPECTIONS AND TESTS DURING CONSTRUCTION.		
9. THE CONSTRUCTION OR WORK FOR WHICH SPECIAL INSPECTION OR TESTING IS REQUIRED SHALL REMAIN ACCESSIBLE AND EXPOSED FOR SPECIAL INSPECTION OR TESTING PURPOSES UNTIL COMPLETION OF REQUIRED SPECIAL INSPECTIONS OR TESTS. SEE SPECIFICATION FOR ADDITIONAL REQUIREMENTS, INCLUDING CONTRACTORS RESPONSIBILITY TO PROVIDE ACCESS FOR SPECIAL INSPECTIONS AND CONTRACTORS RESPONSIBILITY TO PROVIDE DUE NOTICE TO SPECIAL INSPECTOR PRIOR TO THE TIME THAT SPECIAL INSPECTION IS REQUIRED.		
10. SPECIAL INSPECTION AGENCY SHALL KEEP RECORDS OF SPECIAL INSPECTIONS AND TESTS AND SHALL SUBMIT REPORTS OF SPECIAL INSPECTIONS AND TESTS TO THE BUILDING OFFICIAL AND TO THE ENGINEER. REPORTS SHALL INDICATE THAT WORK INSPECTED OR TESTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE ENGINEER PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK. A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND TESTS, AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS AND TESTS, SHALL BE SUBMITTED TO THE BUILDING OFFICIAL.		
11. WHERE SPECIAL INSPECTION OF STRUCTURAL MEMBERS OR ASSEMBLIES IS BEING CONDUCTED ON THE PREMISES OF A FABRICATORS SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE PERFORMED DURING FABRICATION.		
12. SPECIAL INSPECTIONS DURING FABRICATION ARE NOT REQUIRED WHERE THE WORK IS DONE ON THE PREMISES OF A FABRICATOR REGISTERED AND APPROVED BY THE BUILDING OFFICIAL TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. UPON THE COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE OWNER OR THE OWNERS AUTHORIZED AGENT FOR SUBMITTAL TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS.		
13. REFER TO THE CODE SECTIONS REFERENCED IN THE HEADER OF EACH TABLE ON THIS SHEET FOR TESTING AND INSPECTION CRITERIA.		
14. REFER TO PROJECT SPECIFICATIONS FOR ADDITIONAL TESTING AND INSPECTION CRITERIA.		

REQUIRED SPECIAL INSPECTIONS AND TESTS OF SOILS		
SPECIAL INSPECTION TASK	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION
1. VERIFY MATERIALS BELOW SHALLOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY.	-	X
2. VERIFY EXCAVATIONS ARE EXTENDED TO THE PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	-	X
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	-	X
4. DURING FILL PLACEMENT, VERIFY USE OF PROPER MATERIALS AND PROCEDURES IN ACCORDANCE WITH THE PROVISIONS OF THE APPROVED GEOTECHNICAL REPORT. VERIFY DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	-
5. PRIOR TO PLACEMENT OF COMPACTED FILL, INSPECT SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	-	X
NOTE: FOR PROJECTS THAT DO NOT INCLUDE AN APPROVED GEOTECHNICAL REPORT, REFER TO PROJECT SPECIFICATION FOR REQUIREMENTS OF FILL PLACEMENT.		

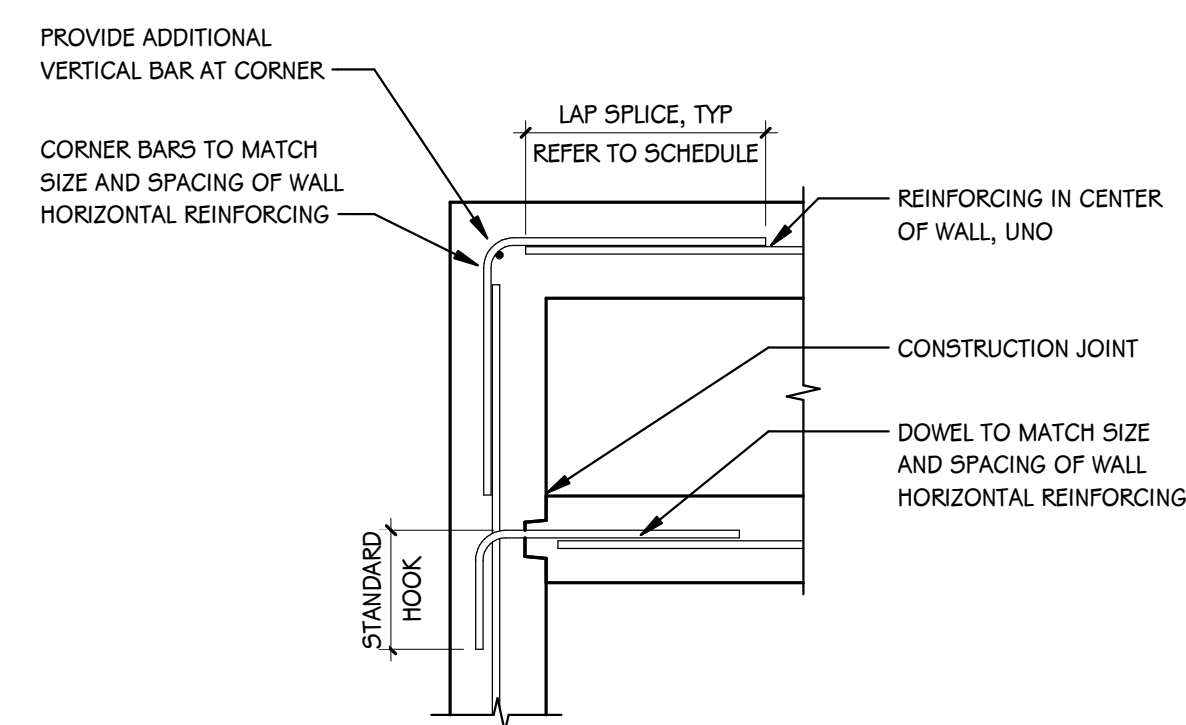
REQUIRED SPECIAL INSPECTIONS AND TESTS OF CONCRETE CONSTRUCTION		
SPECIAL INSPECTION TASK	CONTINUOUS SPECIAL INSPECTION	PERIODIC SPECIAL INSPECTION
1. INSPECT REINFORCEMENT AND VERIFY PLACEMENT.	±	X
2. REINFORCING BAR WELDING (PERMITTED ONLY WHEN SPECIFICALLY SHOWN IN THE DETAILS OR WITH PERMISSION IN WRITING BY THE ENGINEER): A. VERIFY WELDABILITY OF REINFORCING BARS OTHER THAN ASTM A706 B. INSPECT SINGLE-PASS FILLET WELDS UP TO AND INCLUDING 5/16" C. INSPECT ALL OTHER WELDS	± X	X ±
3. INSPECT ANCHORS CAST IN CONCRETE	±	X
4. INSPECT ANCHORS POST-INSTALLED IN HARDENED CONCRETE A. ADHESIVE ANCHORS INSTALLED IN HORIZONTALLY OR UPWARDLY INCLINED ORIENTATIONS TO RESIST SUSTAINED TENSION LOADS B. ALL OTHER ANCHORS POST-INSTALLED IN HARDENED CONCRETE	X ±	± X
5. VERIFY USE OF REQUIRED DESIGN MIX.	±	X
6. PRIOR TO CONCRETE PLACEMENT, FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	±
7. INSPECT CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	±
8. VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	±	X
9. INSPECT PRESTRESSED CONCRETE FOR APPLICATION OF PRESTRESSING FORCES.	X	±
10. INSPECT ERECTION OF PRECAST CONCRETE MEMBERS.	±	X
11. VERIFY IN-SITU CONCRETE STRENGTH PRIOR TO REMOVAL OF SHORES AND FORMS FROM BEAMS AND STRUCTURAL SLABS.	±	X
12. INSPECT FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF CONCRETE MEMBER BEING FORMED.	±	X
EXCEPTIONS - THE ABOVE SPECIAL INSPECTIONS AND TESTS SHALL NOT BE REQUIRED FOR THE FOLLOWING BUILDING ELEMENTS: 1. ISOLATED SPREAD FOOTINGS OF BUILDINGS THREE STORIES OR LESS ABOVE GRADE THAT ARE FULLY SUPPORTED ON EARTH OR ROCK. 2. NONSTRUCTURAL SLABS SUPPORTED DIRECTLY ON THE GROUND.		



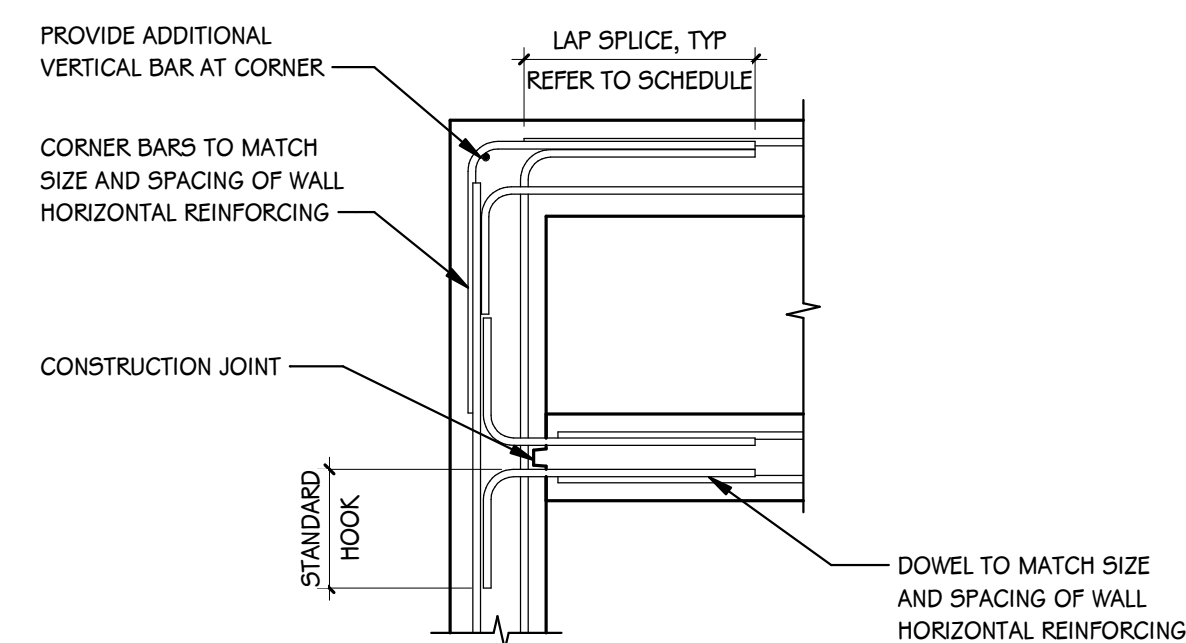
1 TYPICAL SOG CONTROL JOINT
3/4" = 1'-0"



2 TYPICAL SOG CONSTRUCTION JOINT
3/4" = 1'-0"

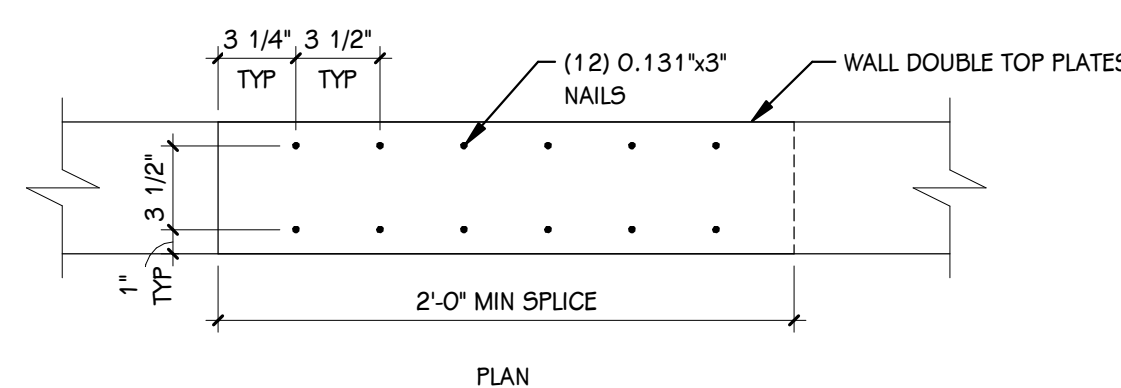


1 LAYER OF REINFORCING

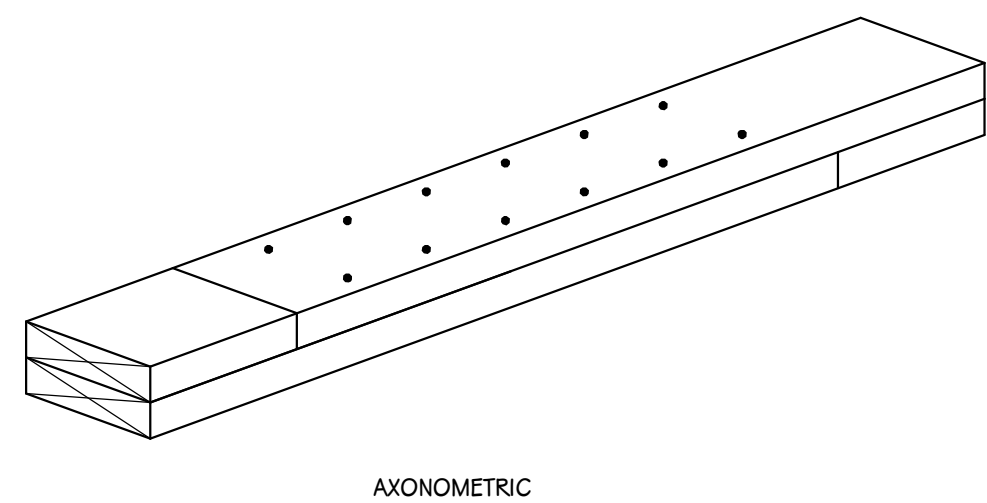


2 LAYERS OF REINFORCING

5 TYPICAL CONCRETE WALL CORNER DETAILS
3/4" = 1'-0"

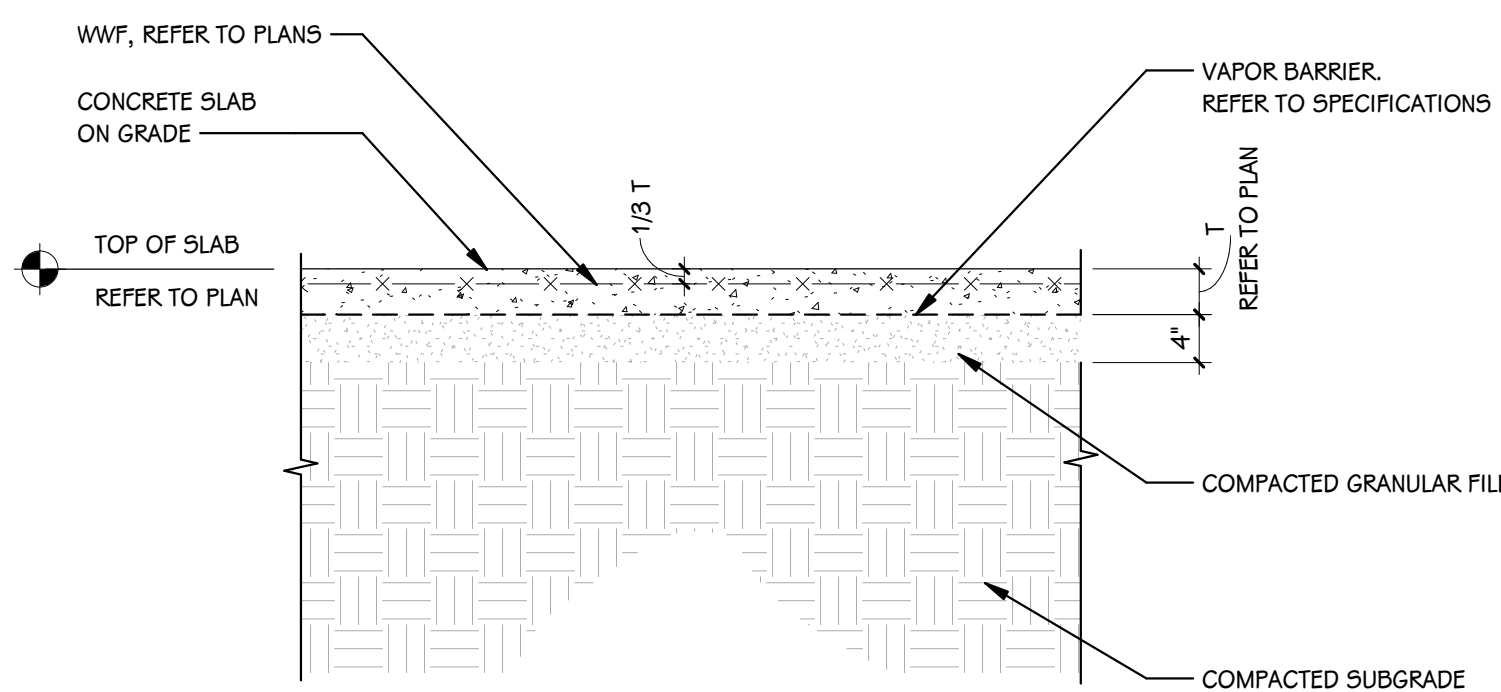


PLAN



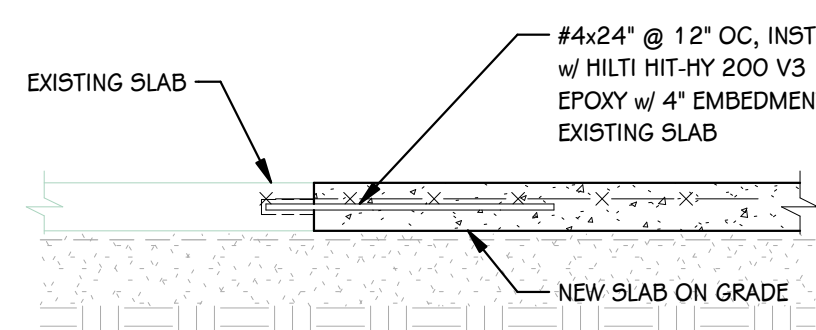
AXONOMETRIC

13 STUD WALL DOUBLE TOP PLATE SPLICE
1 1/2" = 1'-0"

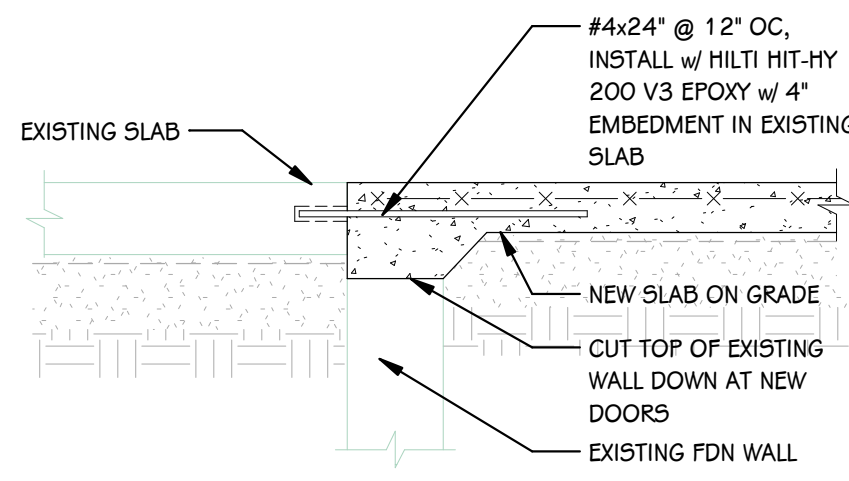


- NOTES:
- SUBGRADE SHALL BE PREPARED PER THE GEOTECHNICAL REPORT PRIOR TO SLAB PLACEMENT. UNSUITABLE SUBGRADE SHALL BE REMOVED AND REPLACED WITH AN ENGINEERED FILL OR ADEQUATE BORROW MATERIAL AND COMPACTED PER THE EARTHWORK SPECIFICATIONS AND GEOTECHNICAL REPORT RECOMMENDATIONS.
 - REFER TO GENERAL NOTES AND SPECIFICATIONS FOR CONTROL JOINT REQUIREMENTS IN SLAB ON GRADE.

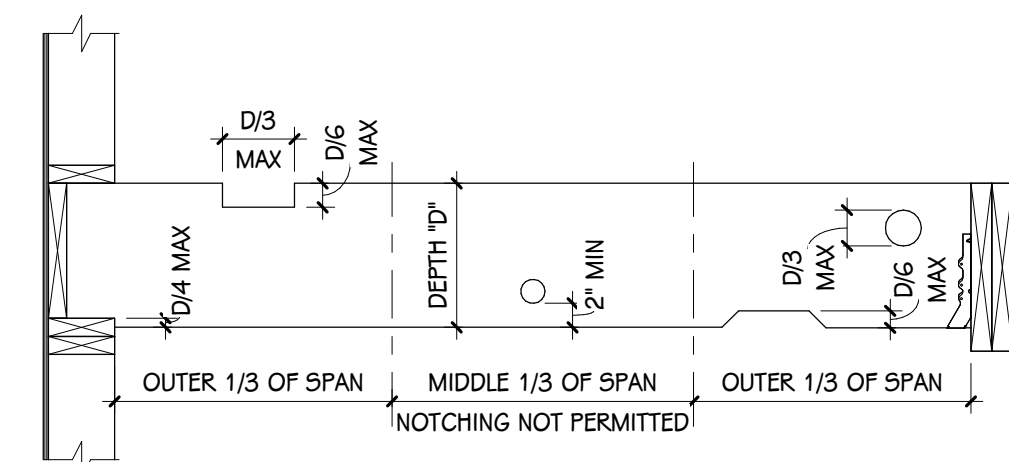
7 TYPICAL SLAB ON GRADE CONSTRUCTION
3/4" = 1'-0"



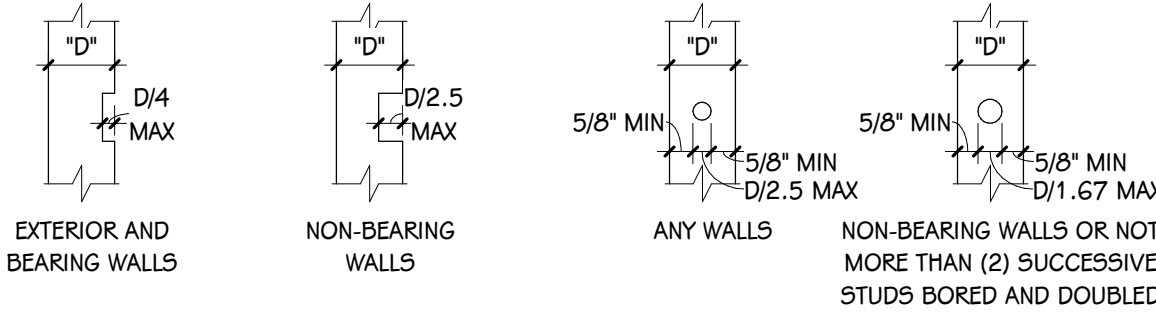
8 NEW SLAB AT EXISTING SLAB
3/4" = 1'-0"



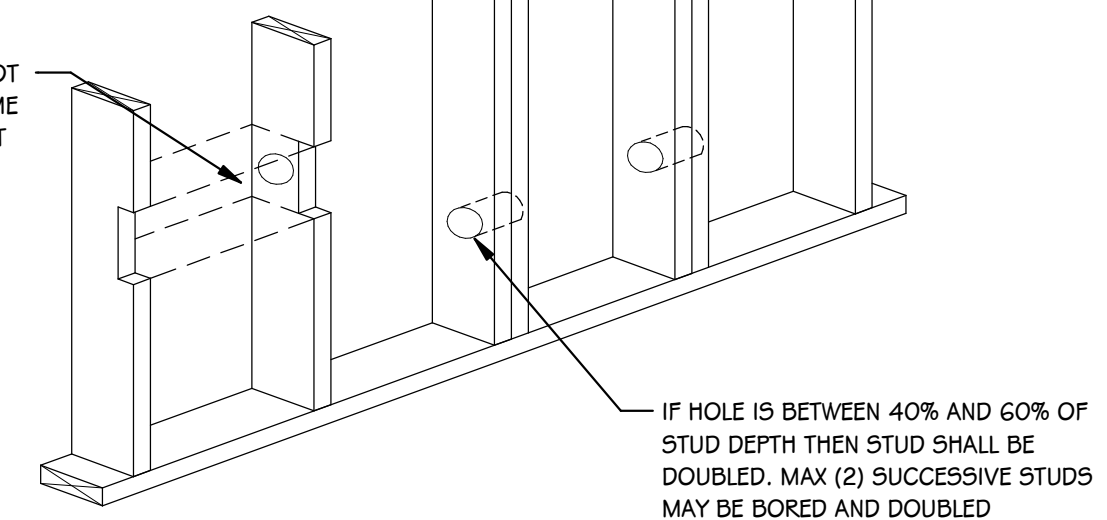
9 TYP DOORWAY SLAB
3/4" = 1'-0"



BEAMS, JOISTS, PURLINS



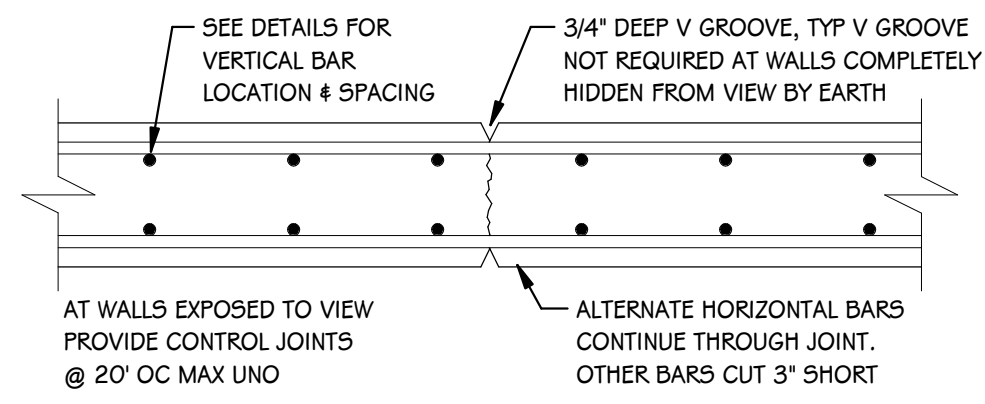
WALL STUDS



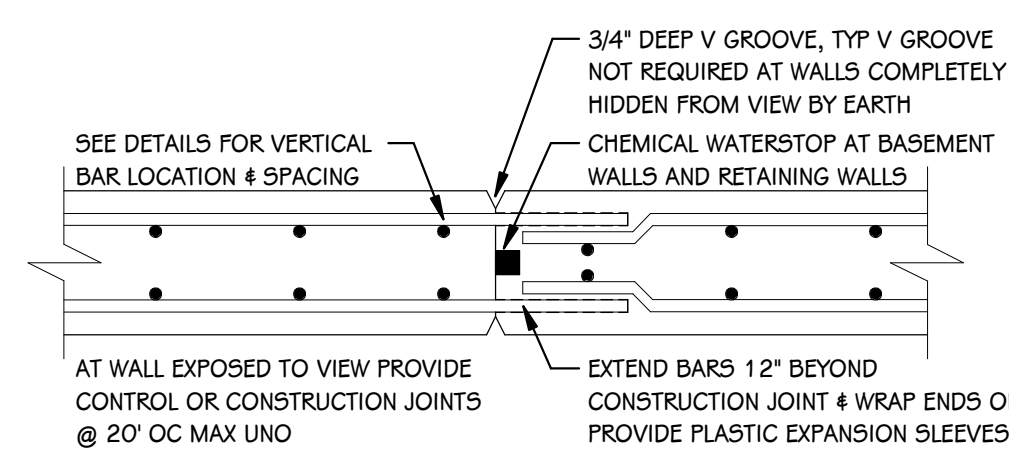
WALL AXONOMETRIC

- NOTES:
- FOR NOTCHING OR BORING ENGINEERED LUMBER MATERIAL, SEE MANUFACTURER'S RECOMMENDATIONS, GUIDELINES, AND BEST PRACTICES. NO FIELD DRILL ENGINEERED LUMBER MATERIAL WITHOUT APPROVAL FROM EOR.
 - AT NOTCHING OR BORING LOCATIONS FOR ELECTRICAL CONDUIT AND/OR PLUMBING, PROVIDE APPROVED NAIL STOPPER PLATES AT ALTERED STUD LOCATIONS.
 - AT SHEAR WALLS, NO NOTCHING OR BORING IS PERMITTED WITHOUT PRIOR APPROVAL FROM EOR.

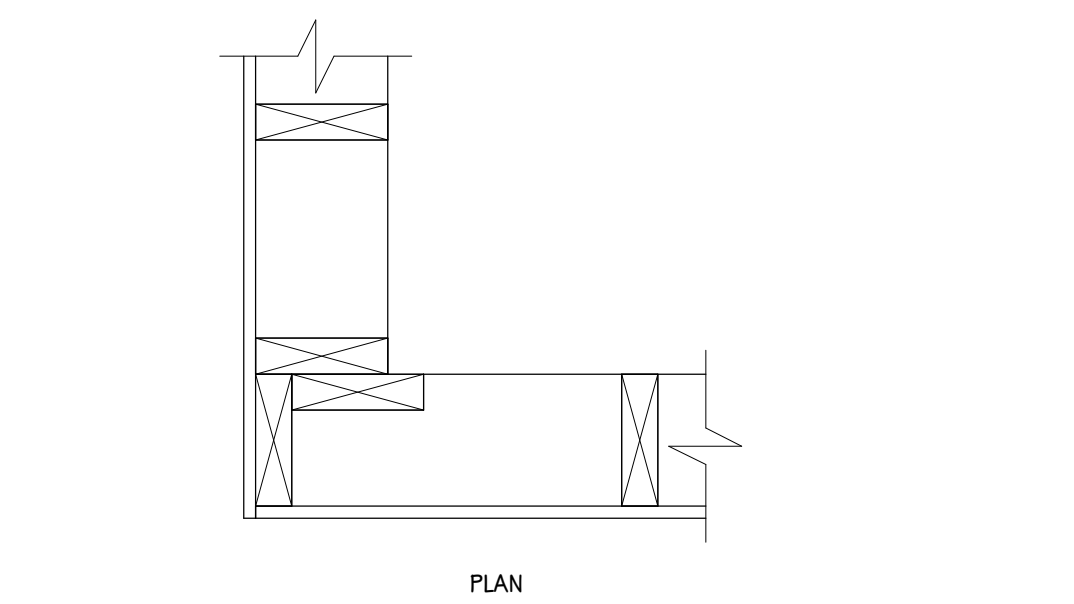
14 NOTCHING AND BORED HOLE LIMITS
3/4" = 1'-0"



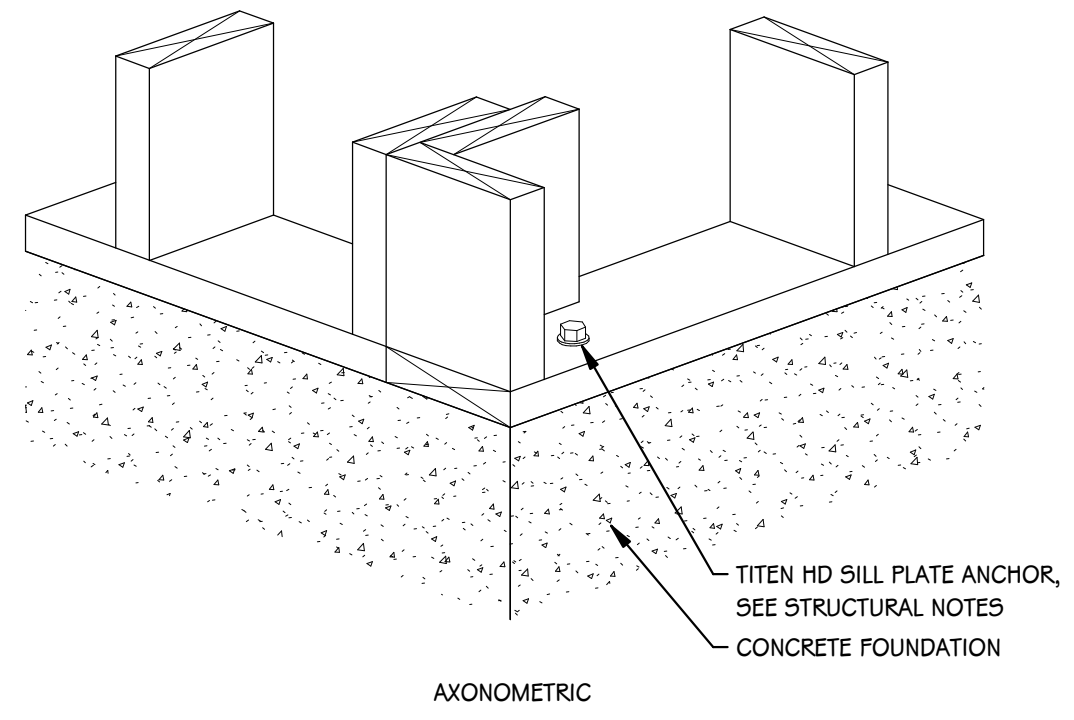
3 TYP WALL CONTROL JOINT
1 1/2" = 1'-0"



4 TYP WALL CONSTRUCTION JOINT
1 1/2" = 1'-0"

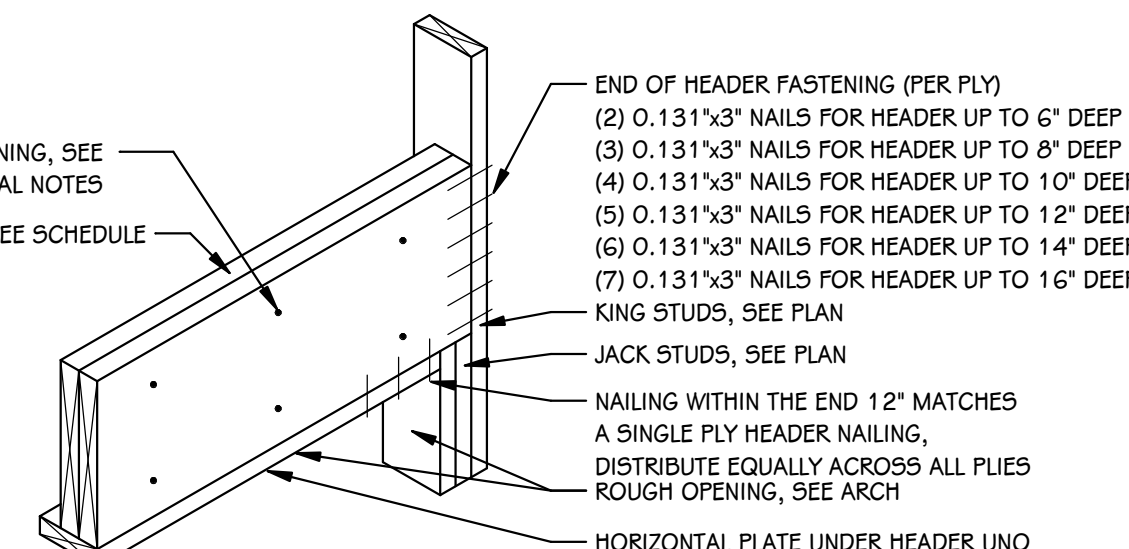


PLAN

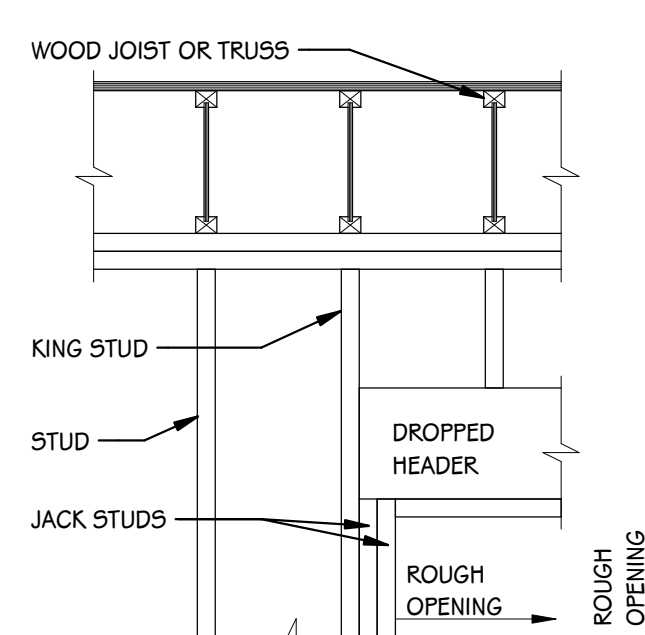


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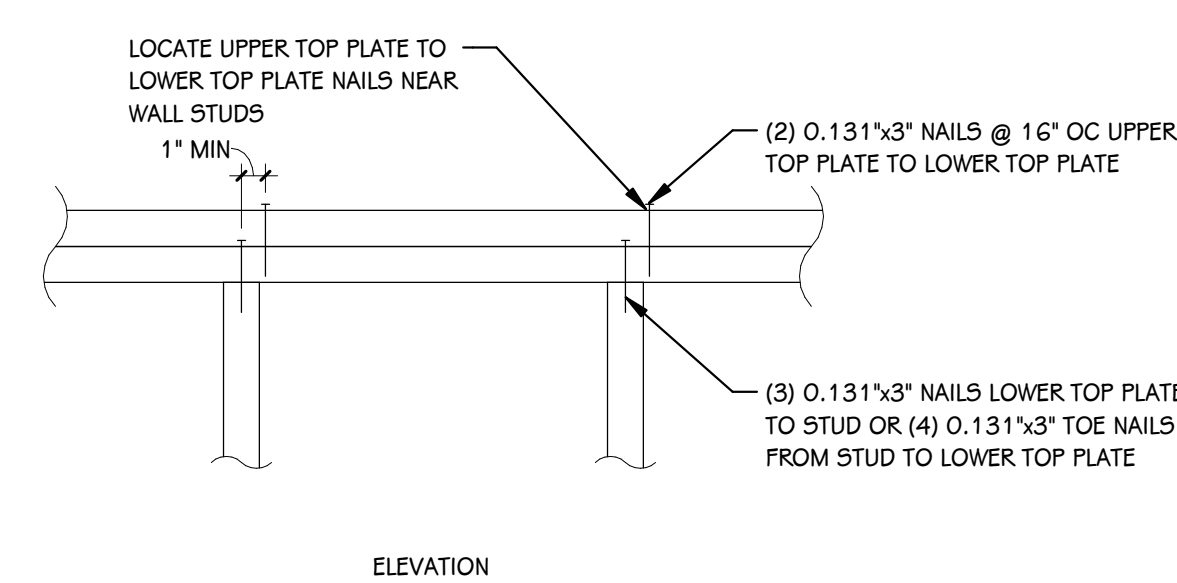
10 STUD WALL CORNER FRAMING
1 1/2" = 1'-0"



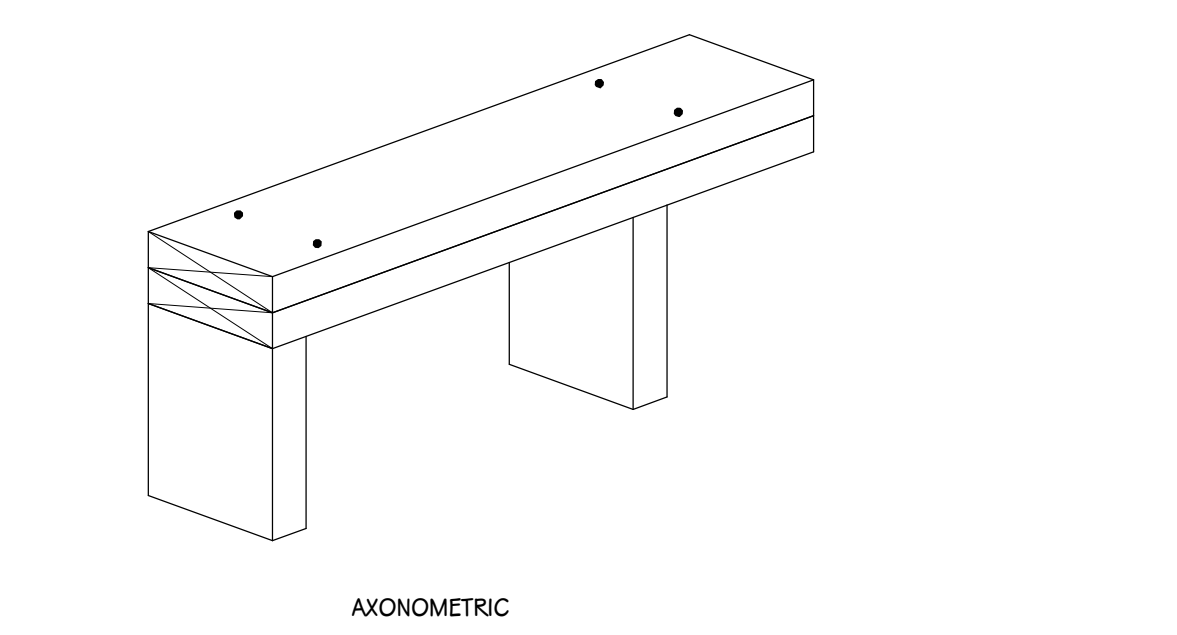
15 TYP HEADER DETAIL
3/4" = 1'-0"



18 TYP DROPPED HEADER
3/4" = 1'-0"

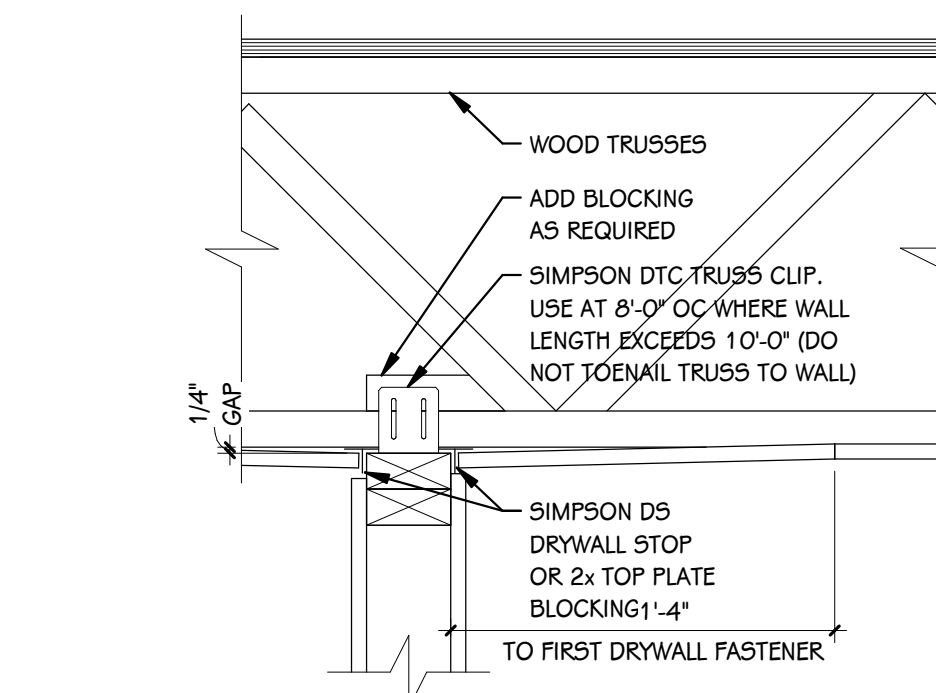


ELEVATION

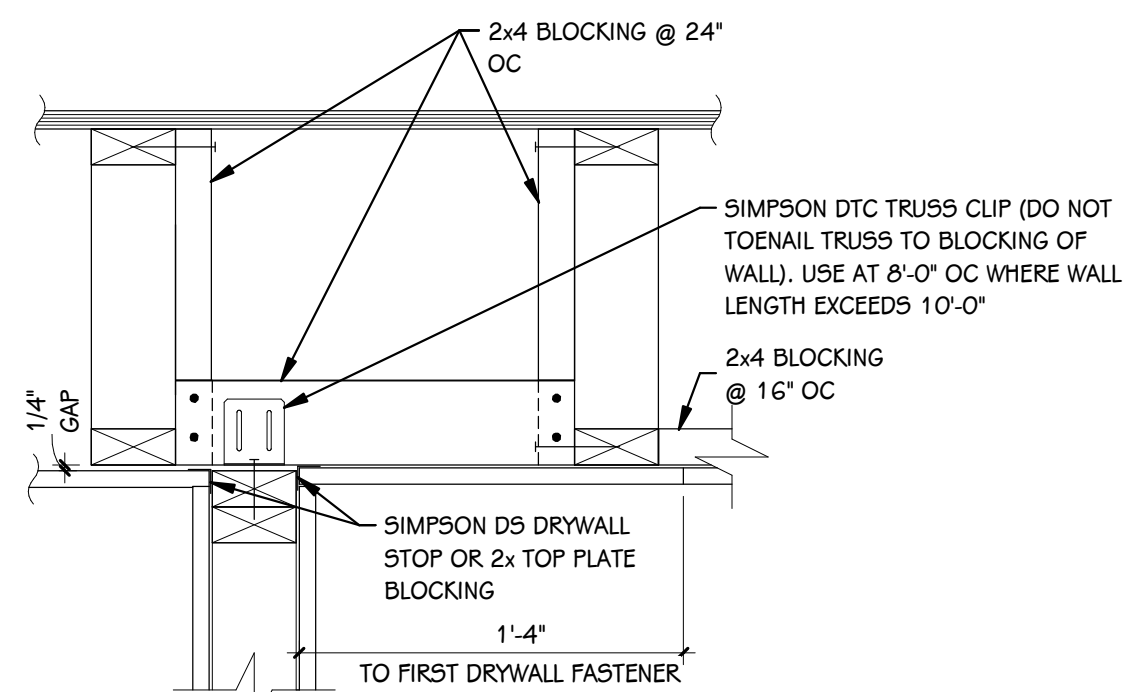


AXONOMETRIC

11 STUD WALL DOUBLE TOP PLATE NAILING
1 1/2" = 1'-0"

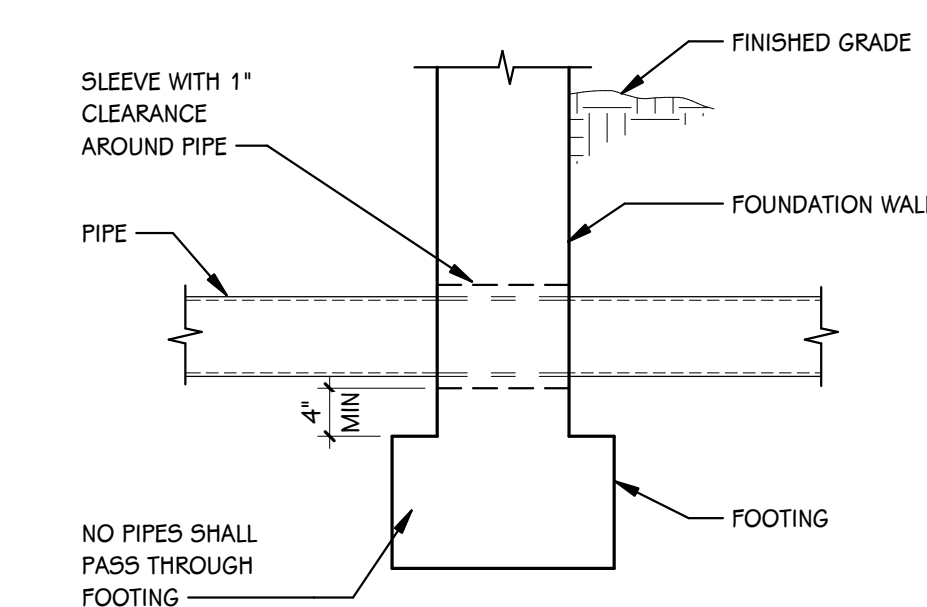


16 INTERIOR NON-BEARING WALL
1 1/2" = 1'-0"

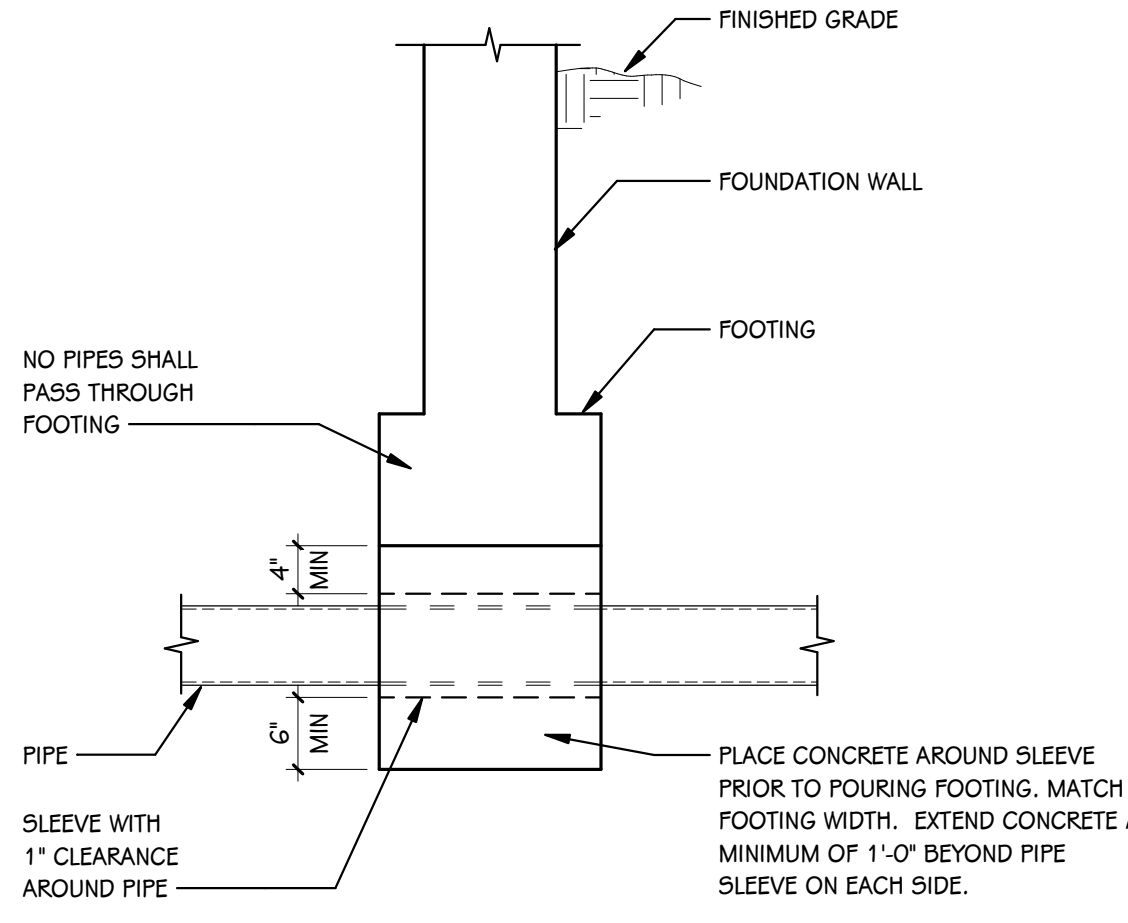


FLOOR TRUSSES

19 INTERIOR NON-BEARING WALL
1 1/2" = 1'-0"

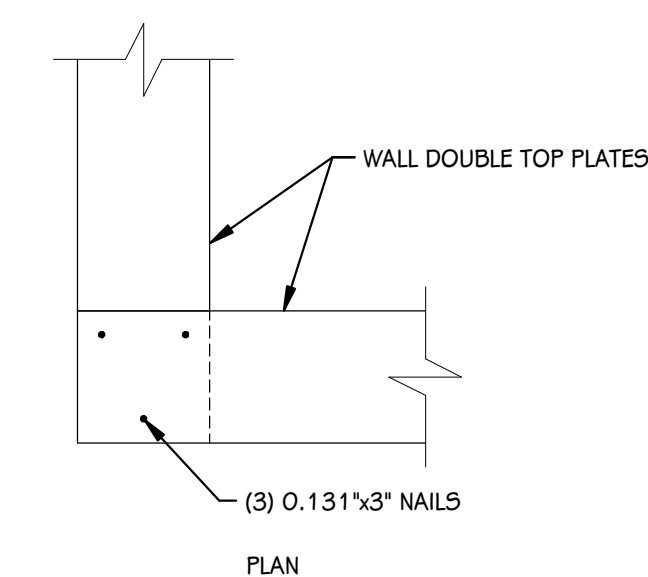


PIPE PASSING THROUGH FOUNDATION WALL

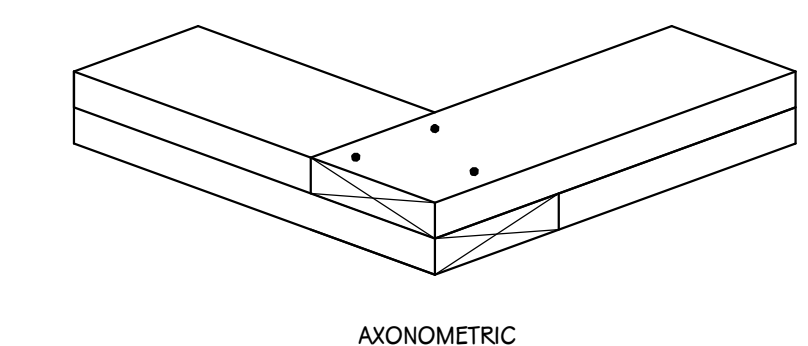


PIPE PASSING UNDER FOOTING

6 TYPICAL FOUNDATION PLUMBING PENETRATIONS
3/4" = 1'-0"

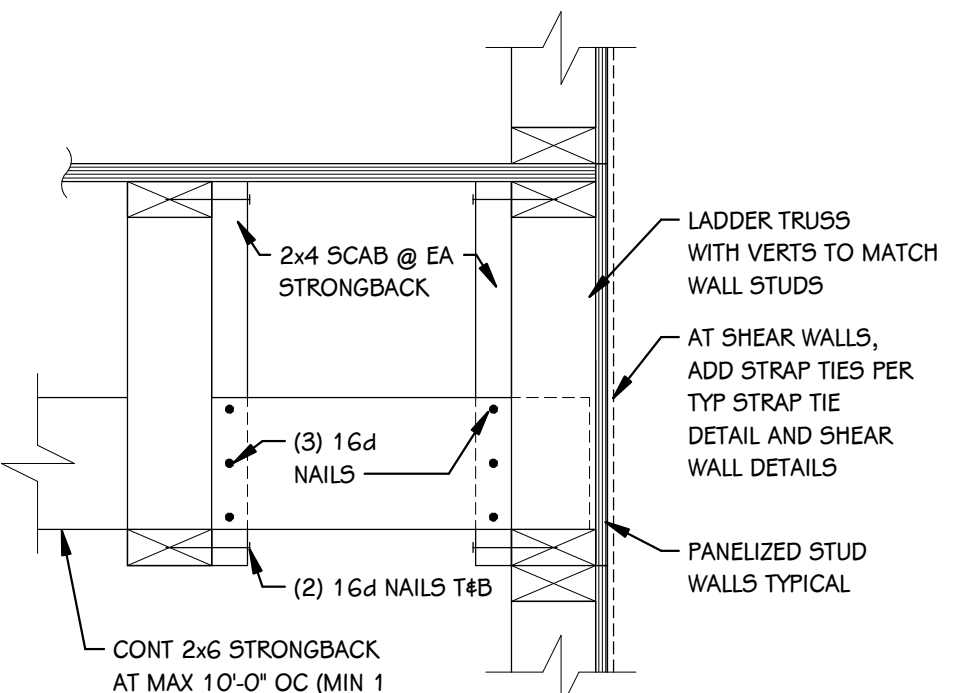


PLAN

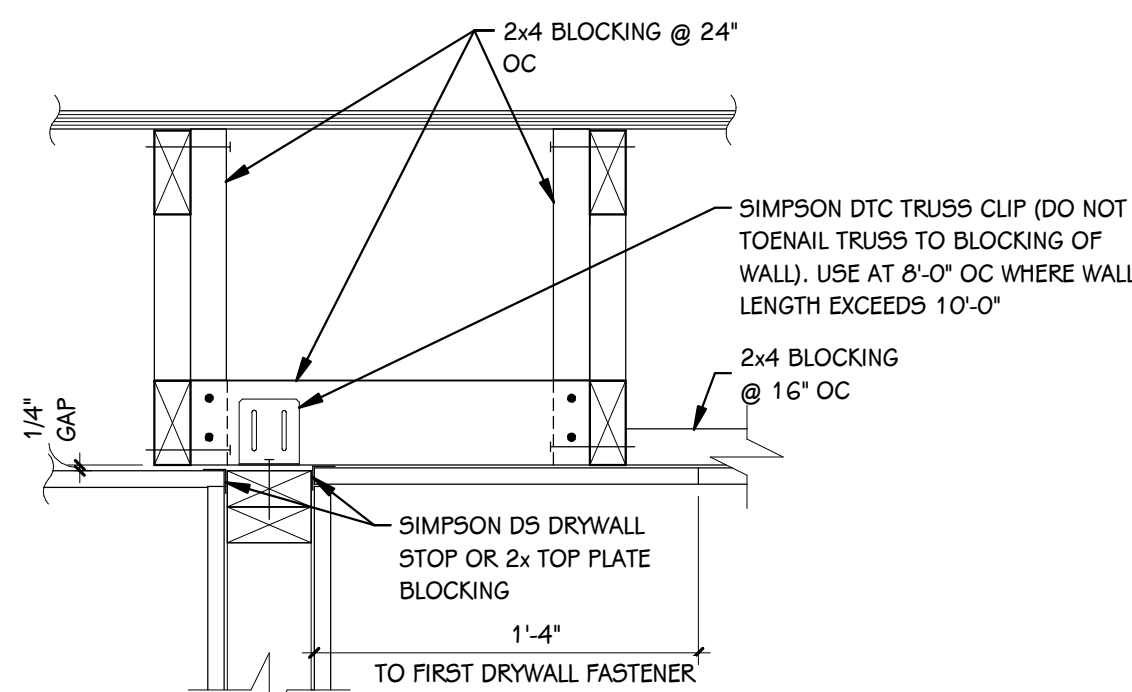


AXONOMETRIC

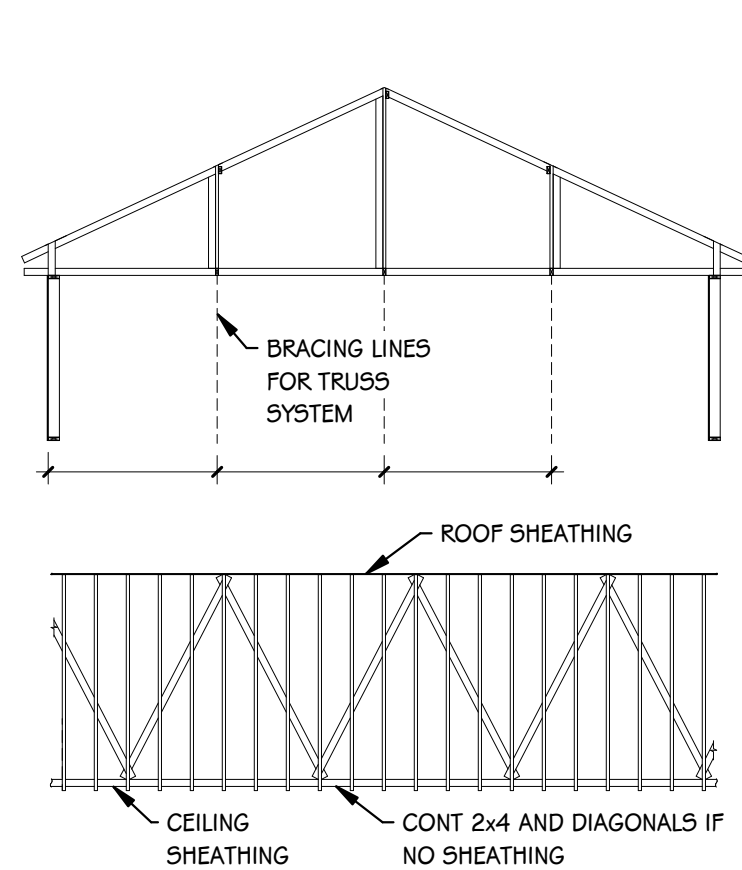
12 STUD WALL DOUBLE TOP PLATE LAP
1 1/2" = 1'-0"



17 STRONGBACK DETAIL
1 1/2" = 1'-0"



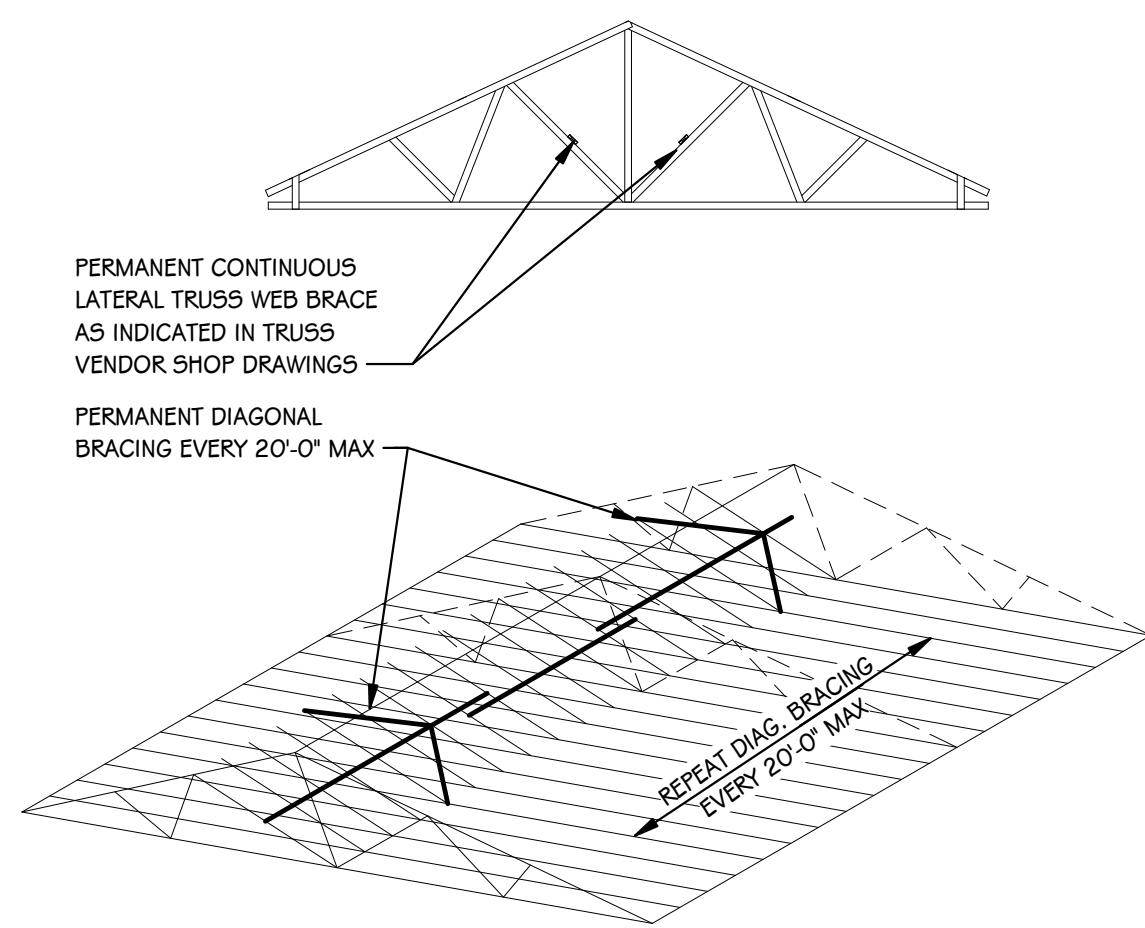
ROOF TRUSSES



1. PROVIDE APPROXIMATELY EQUAL SPACING OF BRACING LINES AT BETWEEN 10 AND 14 FEET APART.
2. PROVIDE VERTICAL WEB MEMBERS AT EA BRACING LINE, ALIGN IN ALL TRUSSES.
3. PROVIDE CONT END-TO-END ZIG-ZAG BRACING ON 40 TO 50 DEGREE SLOPE.
4. THIS WORK IS IN ADDITION TO WEB BRACING AND ASSOCIATED DIAGONAL BRACING AS REQUIRED ELSEWHERE, AS WELL AS END BRACING.

1
SG 003
1/8" = 1'-0"

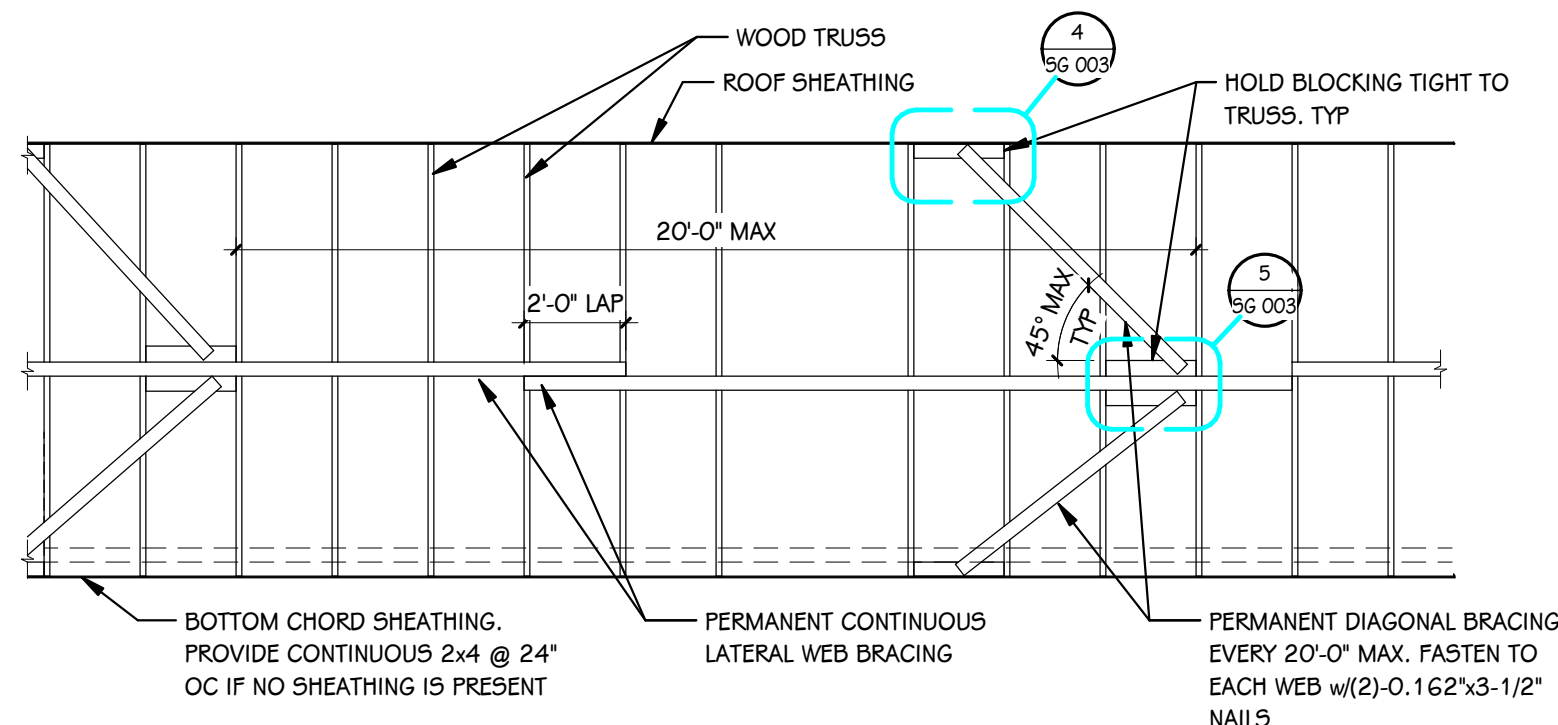
TYP WOOD TRUSS BRACING



- NOTES:
1. REFER TO BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
 2. NOT ALL CHORDS OR WEBS SHOWN FOR CLARITY.
 3. COORDINATE WITH TRUSS VENDOR SHOP DRAWINGS FOR TRUSS CONFIGURATION.

2
SG 003
1/8" = 1'-0"

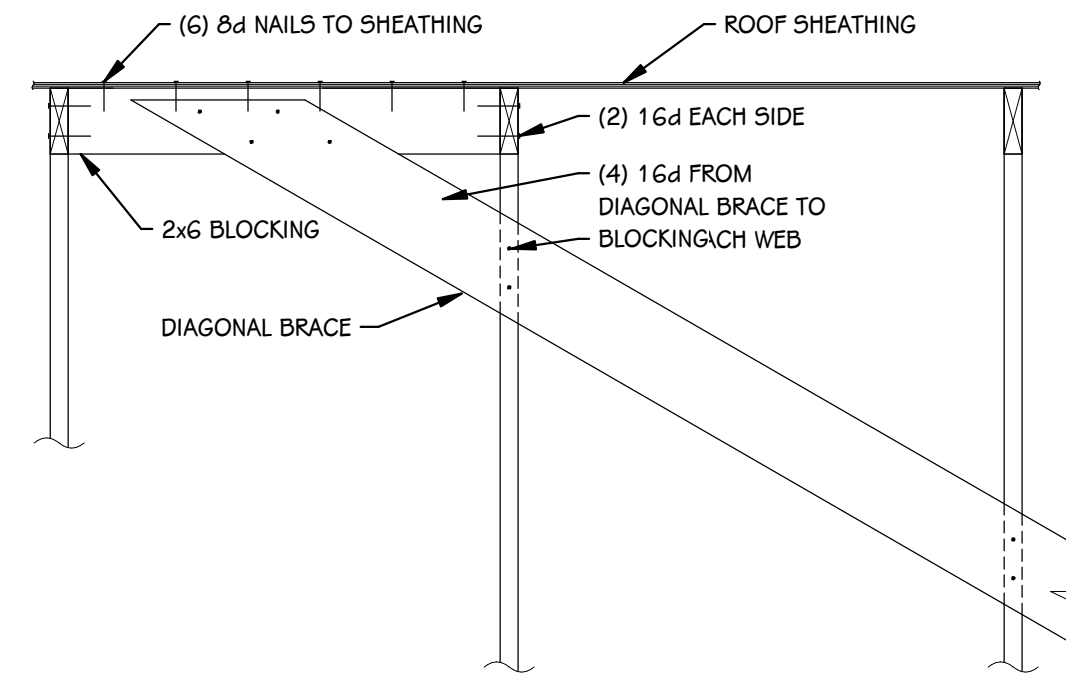
TYP PERMANENT CONTINUOUS LATERAL TRUSS WEB BRACING



- NOTES:
1. REFER TO BUILDING COMPONENT SAFETY INFORMATION (BCSI) GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING, AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES.
 2. NOT ALL CHORDS OR WEBS SHOWN FOR CLARITY.
 3. COORDINATE WITH TRUSS VENDOR SHOP DRAWINGS FOR TRUSS CONFIGURATION.
 4. PROVIDE (1) SET OF DIAGONAL BRACES FOR EACH HORIZONTAL WEB BRACE MINIMUM.

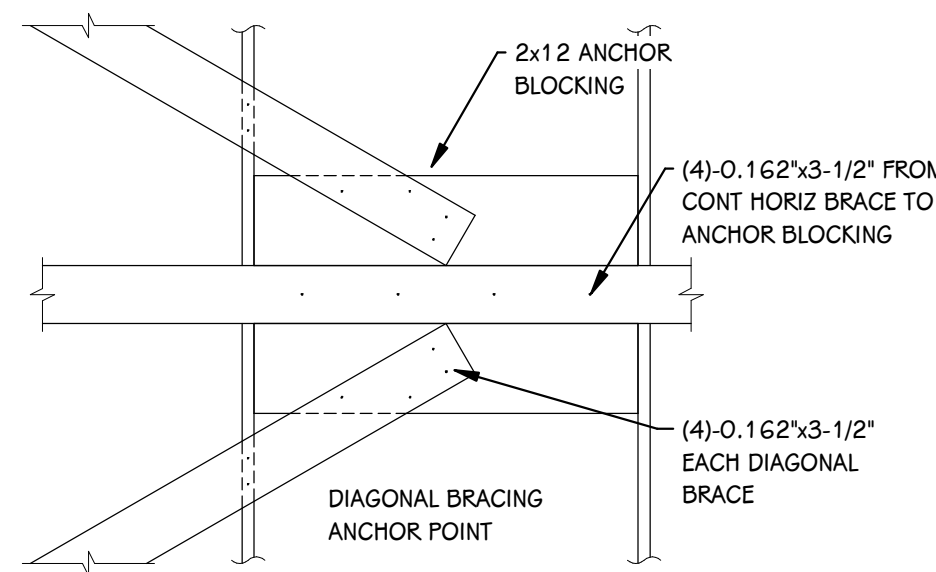
3
SG 003
1/4" = 1'-0"

TYP PERMANENT CONTINUOUS LATERAL TRUSS WEB BRACING DETAIL



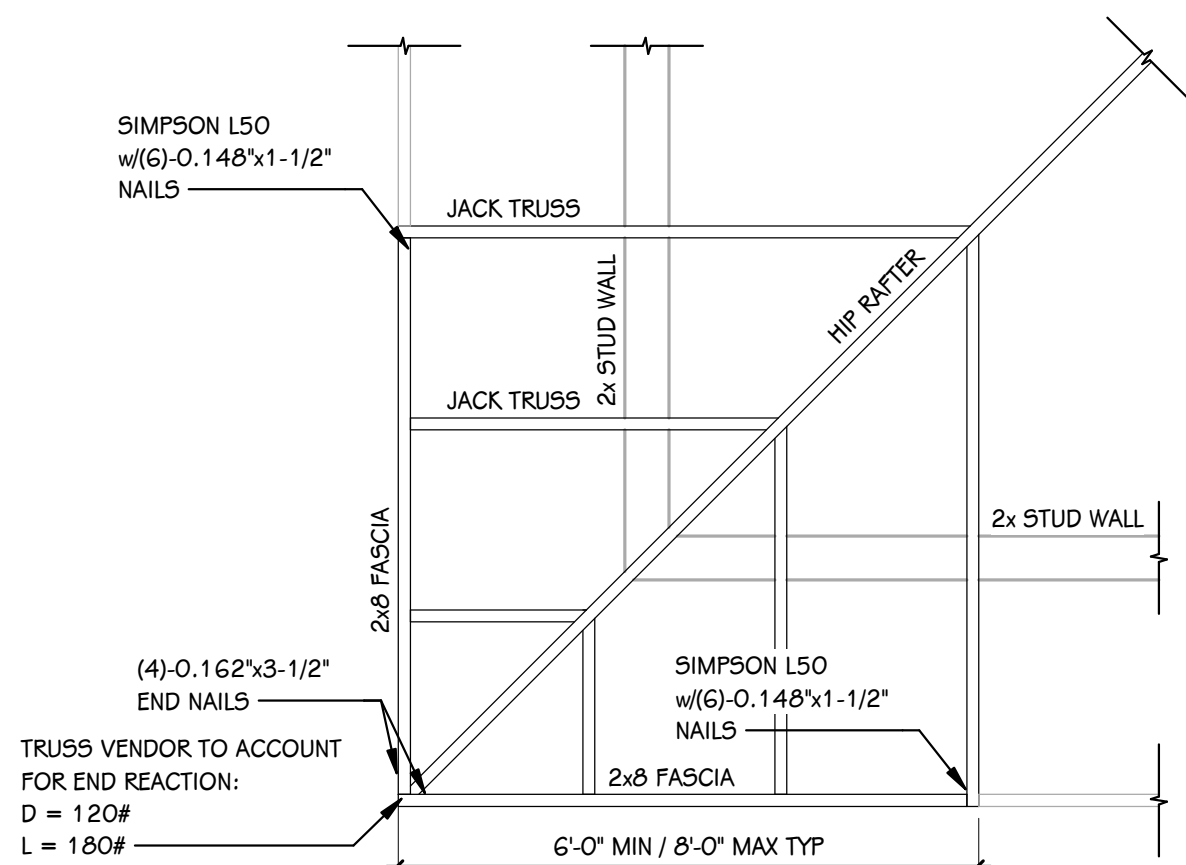
4
SG 003
3/4" = 1'-0"

BLOCKING DETAIL 'A'



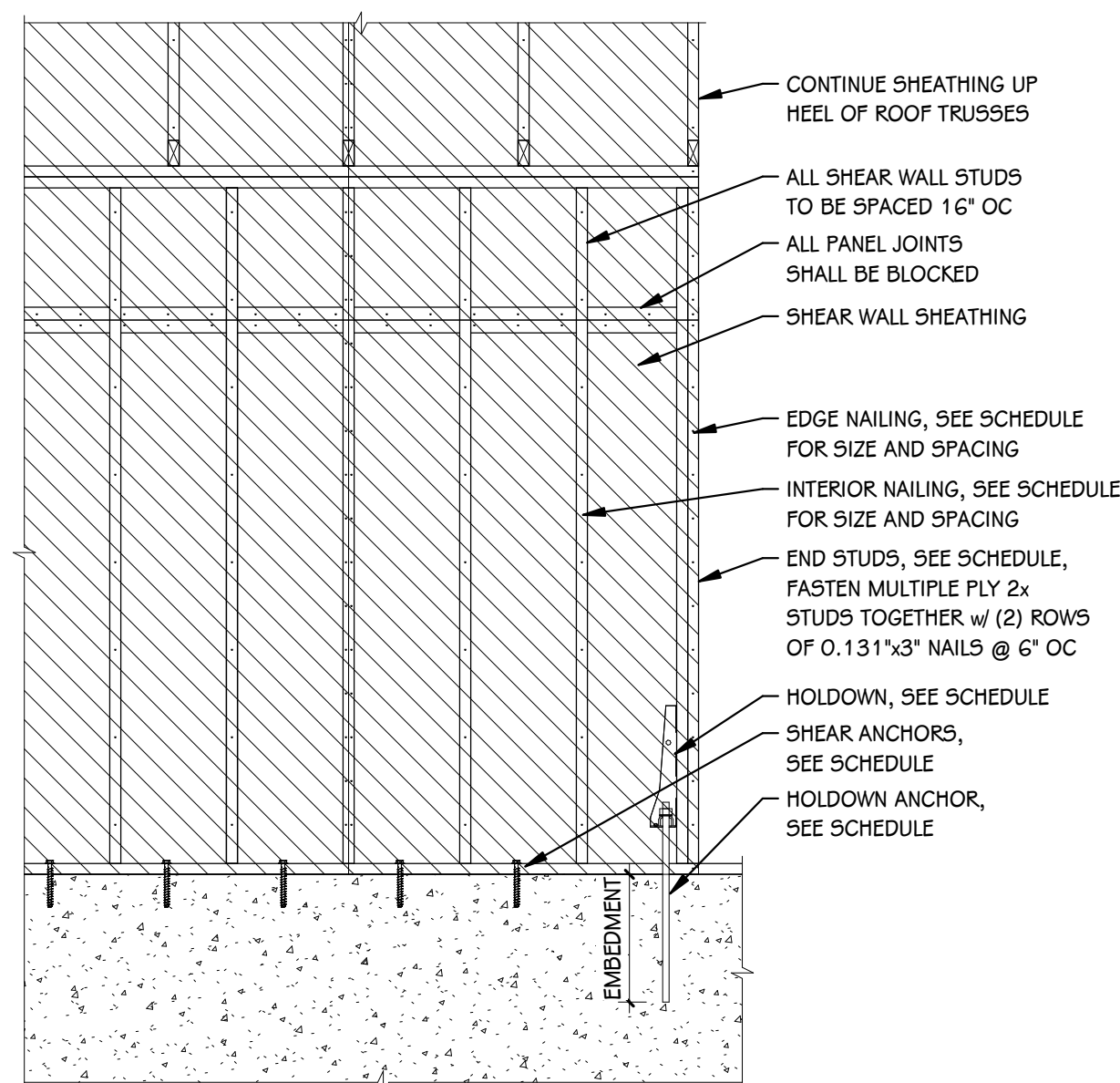
5
SG 003
1/2" = 1'-0"

BLOCKING DETAIL 'B'



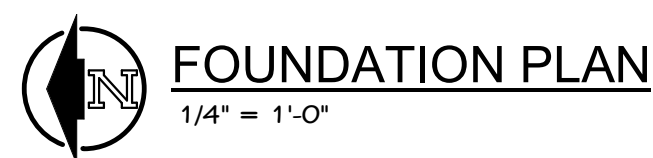
6
SG 003
1/2" = 1'-0"

TYP HIP TRUSS DETAIL AT OVERHANG CORNER

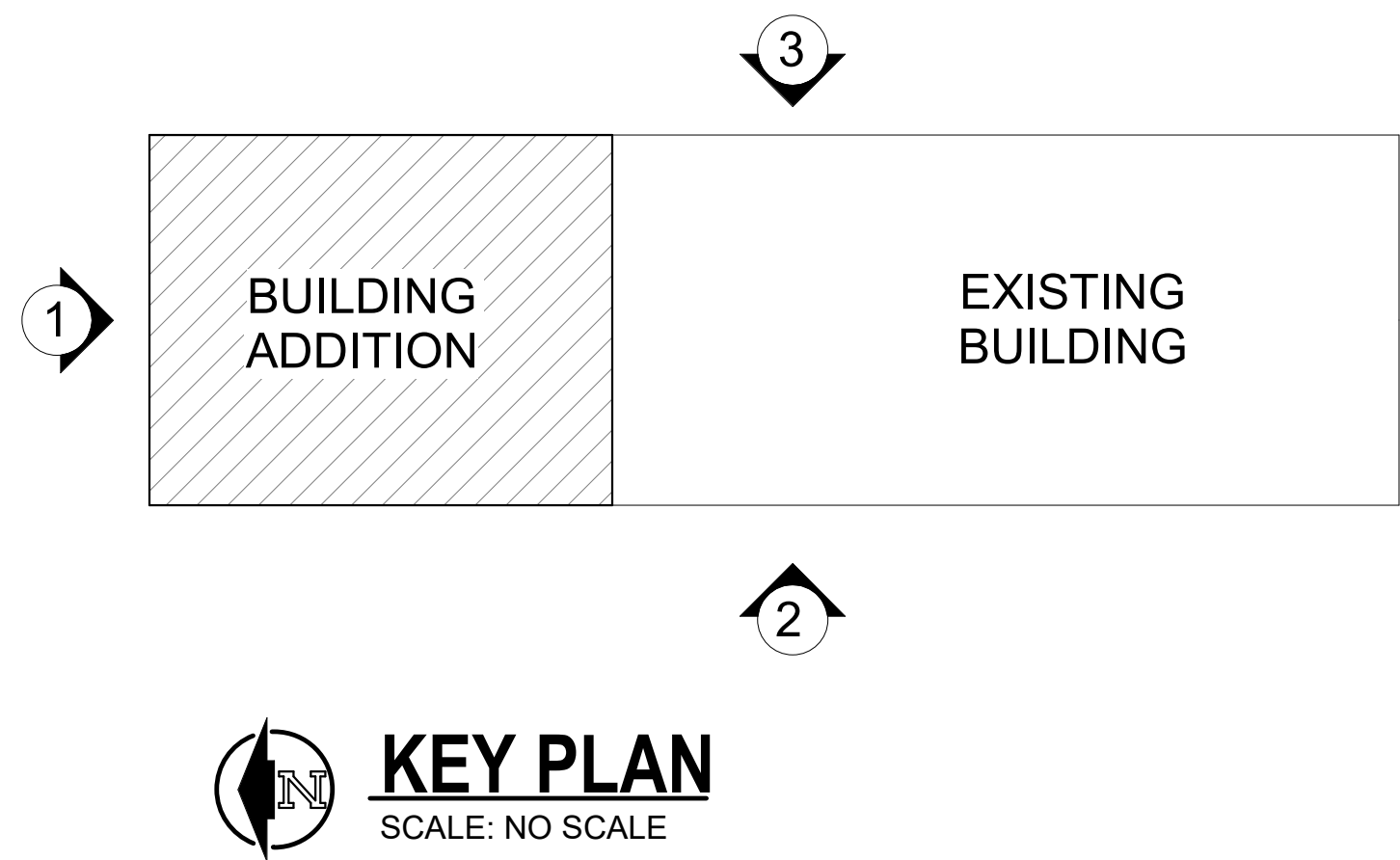


7
SG 003
1/2" = 1'-0"

TYP WOOD SHEAR WALL



WALL FOOTING SCHEDULE				
MARK	SIZE		REINFORCEMENT	
	WIDTH	THICKNESS	LONGITUDINAL	TRANSVERSE
W/F24	24"	12"	(2) #5	-



TOU/TOW	TL - TOP OF BRICK LEDGE TW - TOP OF WALL
TOP/TOF	TP - TOP OF PIER TF - TOP OF FOUNDATION
Fx _o /WF _{xx}	SPREAD FOOTING OR WALL FOOTING DESIGNATION. REFER TO FOOTING SCHEDULES.
Px	CONCRETE PIER DESIGNATION. REFER TO TYPICAL PIER DETAILS.

DATE _____

OWNER
TEAMSTERS LOCAL 2727

SHEET TITLE
FOUNDATION PLAN

4810 N Preston Hwy
Shepardsville, KY

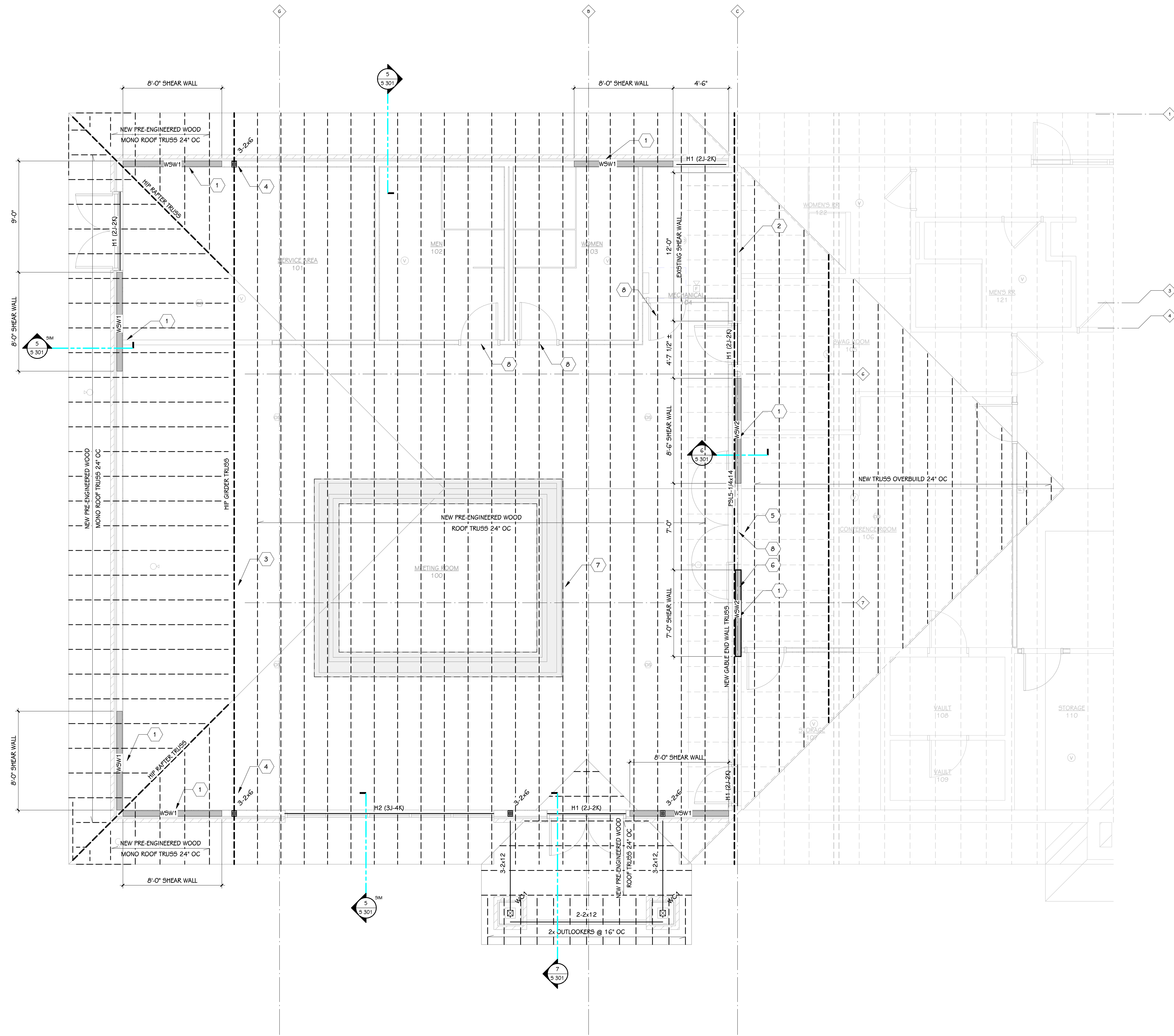
DATE JANUARY 9, 2026

SHEET NUMBER
S 101
25-376.000

STATE OF KENTUCKY
JOSHUA T
HOST
35083
PROFESSIONAL ENGINEER
DATE: 01/08/2026
EXPIRES: 06/30/2027

TowerPinkster

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TOWERPINKSTER.COM



ROOF FRAMING PLAN
1/4" = 1'-0"

WOOD HEADER SCHEDULE

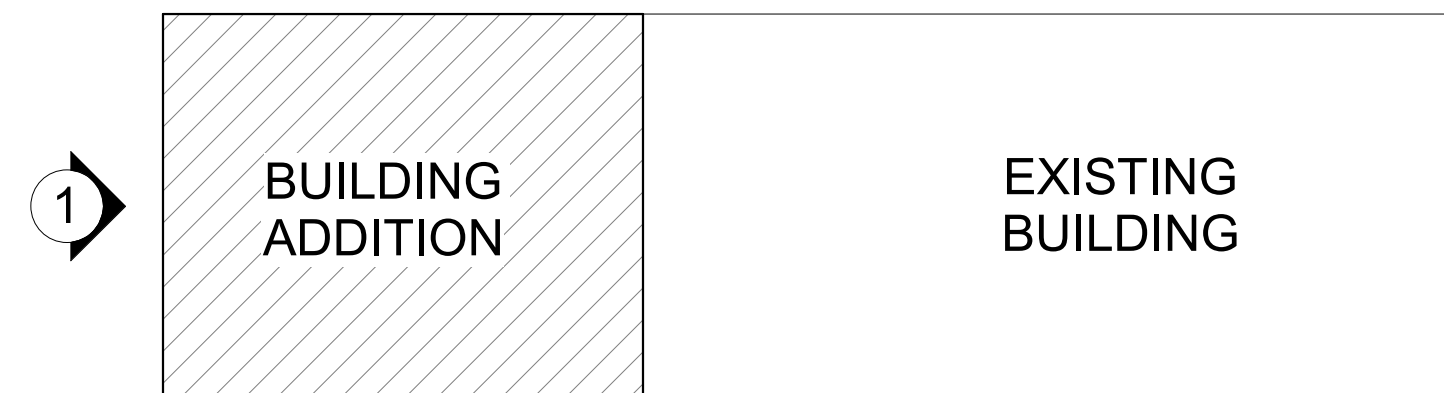
MARK	HEADER SIZE
H1	(2) 2x10
H2	(3) 18" LVL

WOOD SHEAR WALL SCHEDULE

MARK	SHEATHING	PANEL NAILING		CHORD	HOLDOWN	HOLDOWN ANCHORS	SHEAR CONNECTORS		NOTES
		EDGE	INTERIOR				BASE	TOP	
WSW1	ZIP-RG	0.131"x3" @ 4" OC	0.131"x3" @ 12" OC	(3) 2x6	HDU4 SDB2.5 w/ (10) 1/4"x2 1/2" SDBS SCREWS	5/8" DIA. THREADED ROD EMBEDDED 10" w/ SIMPSON SET-36 ADHESIVE	1/2"x8" SIMPSON TITEN HD SCREW ANCHORS @ 24" OC	-	-
WSW2	15/32" OSB	0.131"x2" @ 4" OC	0.131"x2" @ 12" OC	(3) 2x6	HDU8 SDB2.5 w/ (20) 1/4"x2 1/2" SDBS SCREWS	7/8" DIA. THREADED ROD EMBEDDED 17'-1/2" w/ SIMPSON SET-36 ADHESIVE	1/2"x8" SIMPSON TITEN HD SCREW ANCHORS @ 24" OC	-	-

WOOD COLUMN SCHEDULE

MARK	SIZE	CONNECTORS		NOTES
		BASE	TOP	
WC1	6x6	ABW66Z POST BASE w/ (12)-0.162"x3-1/2" NAILS AND (1)-5/8"x8" TITEN HD SCREW ANCHOR	PC6Z POST CAP w/ (10)-0.148"x3" BEAM AND (8)-0.148"x3" POST NAILS	

TEAMSTERS LOCAL 2727

KEY PLAN
SCALE: NO SCALE

NOTES - STRUCTURAL - FRAMING

- 1 ROOF TRUSSES TO BE SLOPED AS REQUIRED. REFER TO ARCHITECTURAL DRAWINGS FOR SLOPE REQUIREMENTS.
- 2 REFER TO ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS.
- 3 REFER TO ARCHITECTURAL DRAWINGS FOR APPLICATION OF ICE AND WATER SHIELD TO BE APPLIED AT EAVES AND VALLEYS.
- 4 COORDINATE SIZE AND LOCATIONS OF ROOF OPENINGS WITH HVAC CONTRACTOR.
- 5 ALL BEARING WALLS, EXTERIOR WALLS, AND WALLS CONTAINING SHEAR WALLS, SHALL BE FRAMED WITH 2x6 STUDS @ 16" OC.

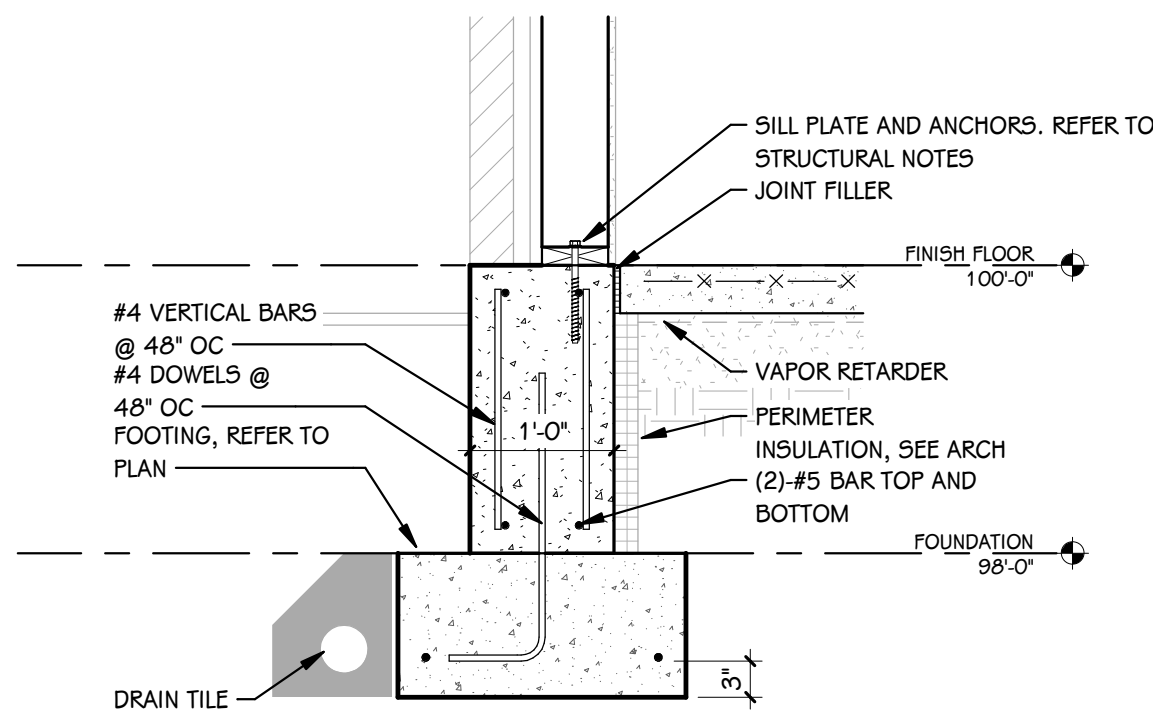
KEYED NOTES - STRUCTURAL - FRAMING

- 1 NEW SHEAR WALL PER TYPICAL DETAILS
- 2 EXISTING SHEAR WALL TO REMAIN
- 3 NEW HIP GIRDER TRUSS, FINAL LOCATION PER TRUSS VENDOR.
- 4 PROVIDE BEARING STUDS BELOW HIP GIRDER
- 5 EXISTING PSL TO REMAIN
- 6 NEW FULL-LENGTH GABLE END WALL TRUSS ON EXISTING STUD WALL
- 7 DENOTES EXTENT OF ADDITIONAL CEILING FRAMING. SEE ARCH DRAWINGS FOR EXTENTS. TRUSS VENDOR TO PROVIDE ADDITIONAL 5 PSF LOADING TO AFFECTED TRUSS MEMBERS
- 8 PROVIDE (2)-2x6 AT DOOR HEAD. SEE ARCH DRAWINGS

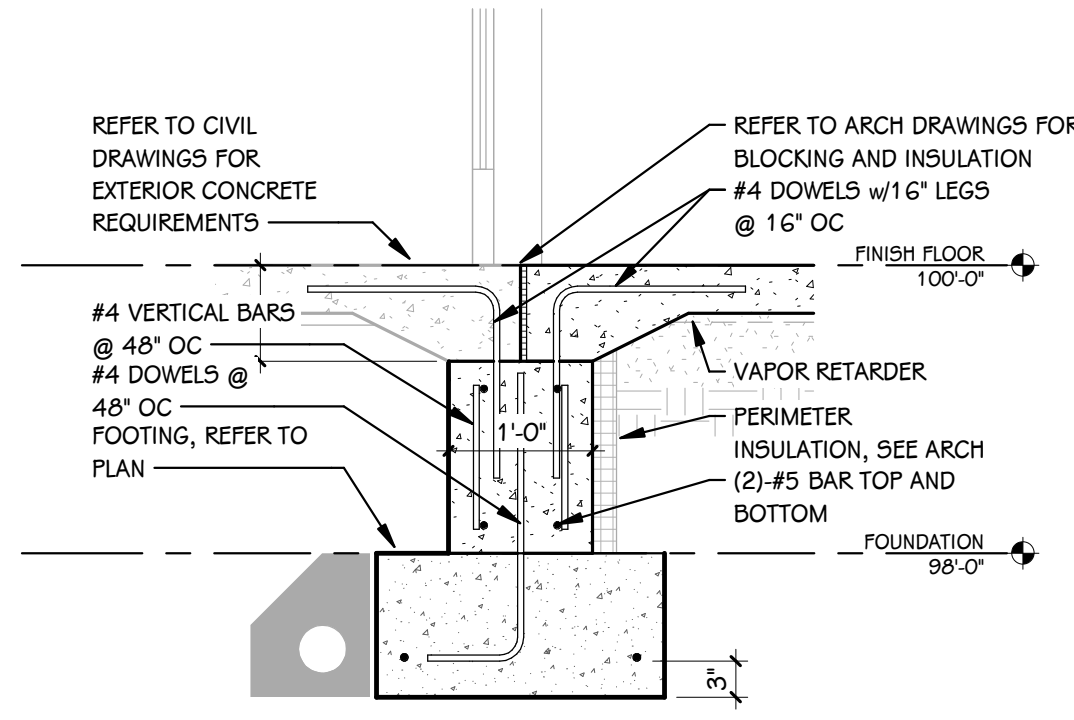
SYMBOLS LEGEND - STRUCTURAL - FRAMING

- ⊠ INDICATES FRAMED OPENING. REFER TO TYPICAL DETAIL, COORDINATE SIZE AND LOCATION WITH MECHANICAL AND ARCHITECTURAL REQUIREMENTS.
- R1 → INDICATES SPAN DIRECTION FOR 19/32" WOOD STRUCTURAL PANEL SHEATHING, 4020 SPAN RATING, EXPOSURE 1, WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS. FASTEN SHEATHING WITH 0.131"x2-1/2" NAILS @ 6" OC AT PANEL EDGES AND 12" OC AT INTERMEDIATE SUPPORTS. MINIMUM 1-1/2" FASTENER PENETRATION INTO SUPPORT.
- Cx COLUMN TAG, REFER TO COLUMN SCHEDULE. TAG APPEARS ON THE LEVEL CORRESPONDING WITH THE TOP OF THE COLUMN.
- Hx WOOD HEADER TAG, REFER TO WOOD HEADER SCHEDULE. 'x'-w'x' DENOTES CORRESPONDING JACK AND KING STUDS. SEE TYPICAL HEADER DETAIL FOR ADDITIONAL INFORMATION.
- SHADED REGIONS OF WOOD-FRAMED SHEAR WALLS. FASTEN PER SCHEDULE REQUIREMENTS. REFER TO TYPICAL DETAIL FOR ADDITIONAL INFORMATION.

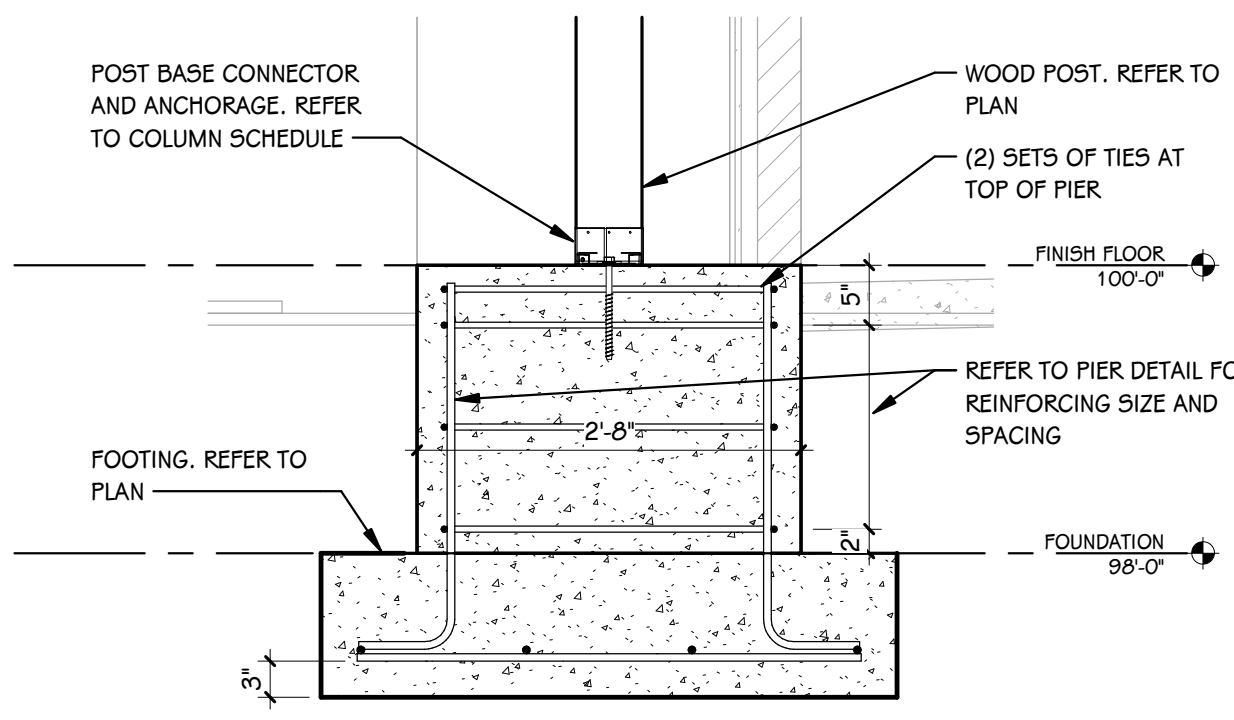
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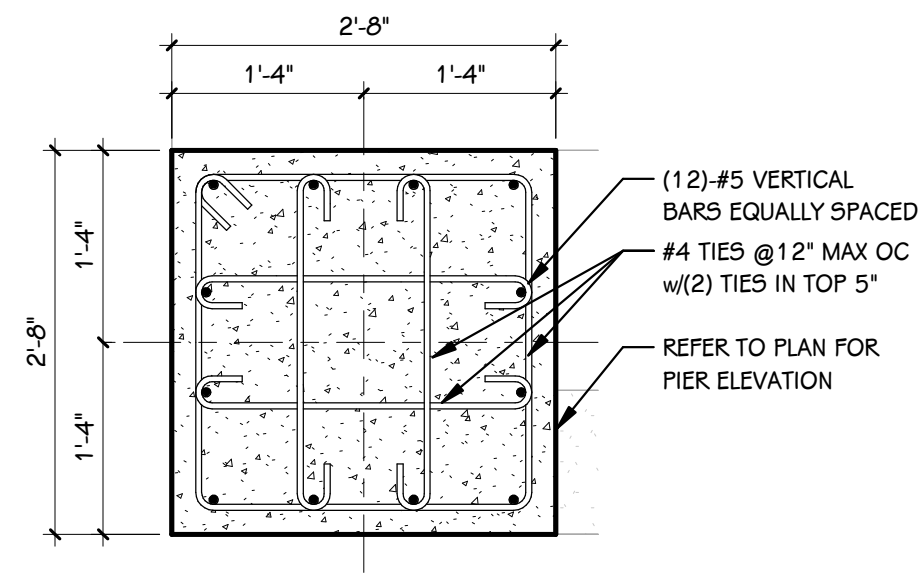
1 TYP WALL FOUNDATION
3/4" = 1'-0"



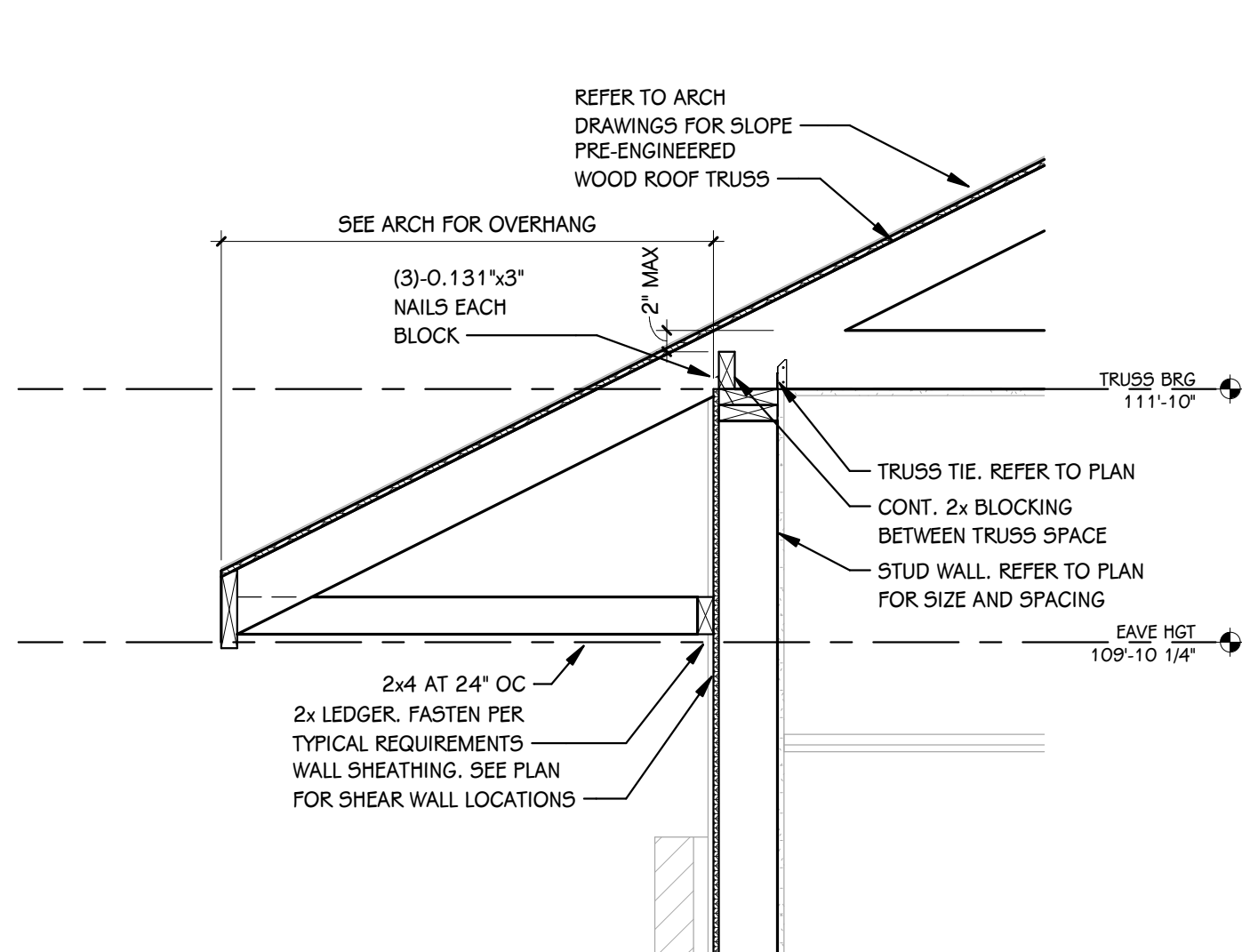
2 WALL FOUNDATION AT THRESHOLD
3/4" = 1'-0"



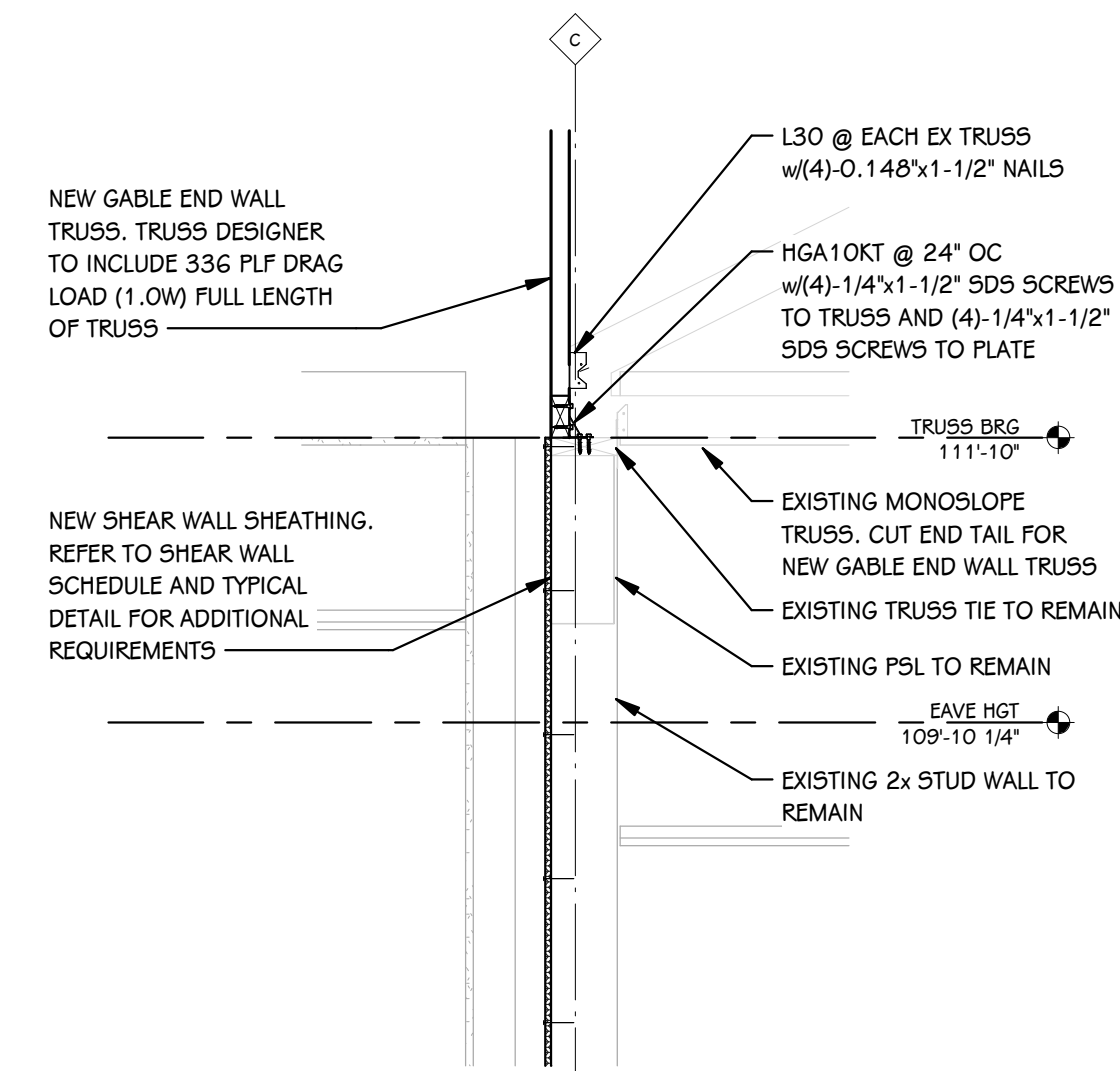
3 TYP PIER FOUNDATION
3/4" = 1'-0"



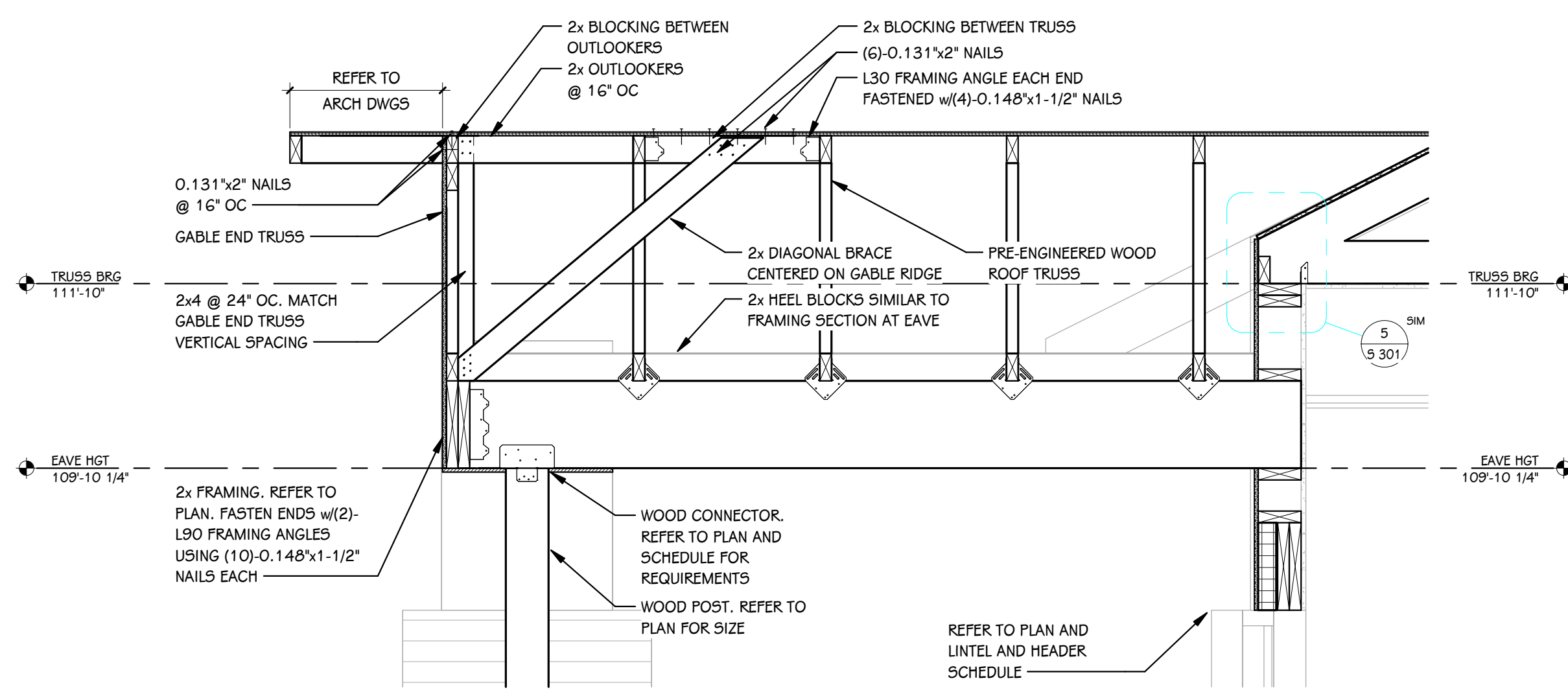
4 PIER "P1"
3/4" = 1'-0"



5 TYP FRAMING SECTION AT EAVE
3/4" = 1'-0"



6 FRAMING SECTION AT NEW GABLE END WALL
3/4" = 1'-0"



7 FRAMING SECTION AT NEW ENTRYWAY
3/4" = 1'-0"

SHEET TITLE
FOUNDATION AND FRAMING DETAILS

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727

SHEET NUMBER
S 301
25-376.000

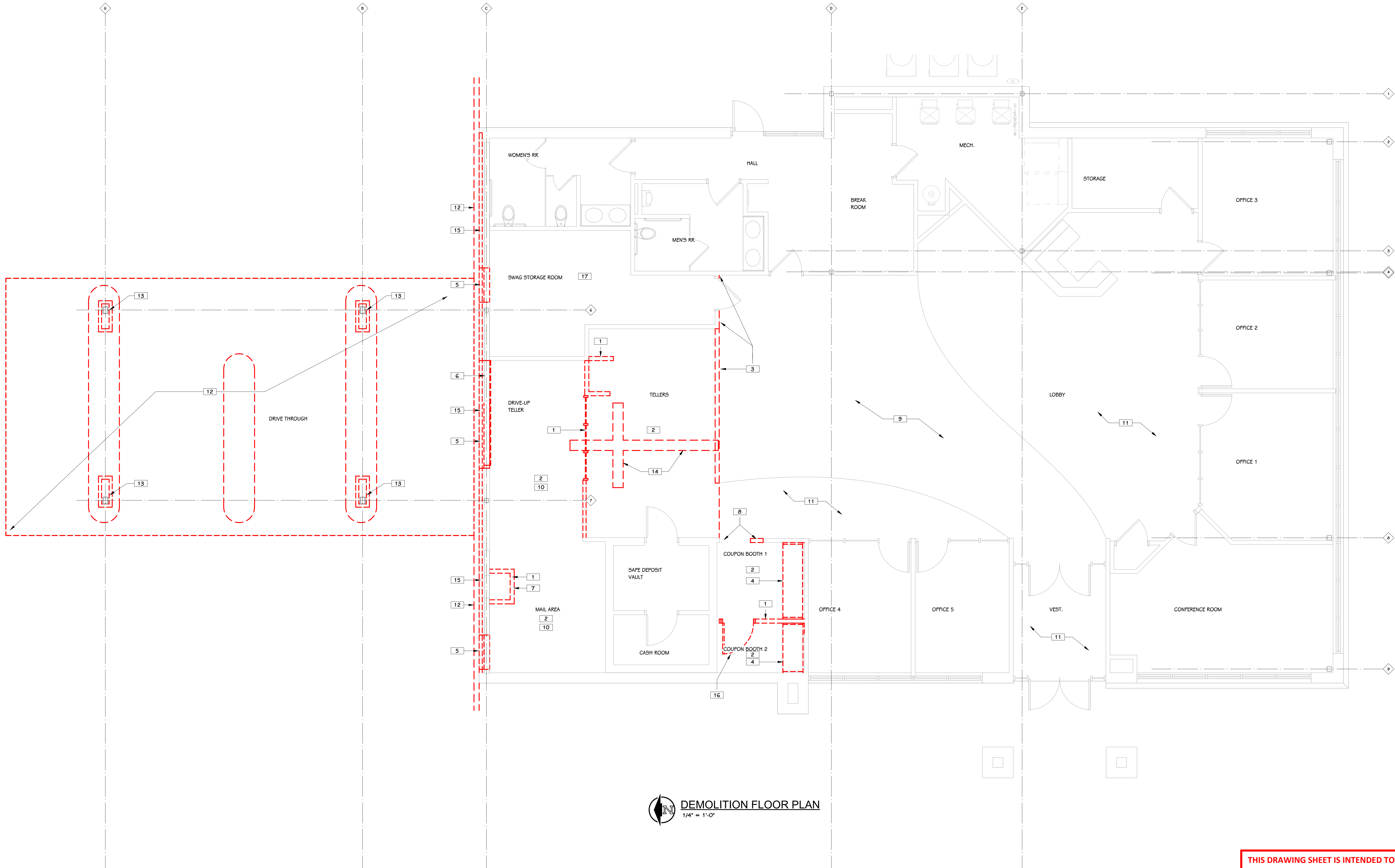
DATE
JANUARY 9, 2026

4810 N Preston Hwy
Shepardsville, KY

ISSUED FOR
DATE



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TOWERPINKSTER.COM
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 DEMOLITION FLOOR PLAN
1/4" = 1'-0"

KEYED NOTES - ARCHITECTURAL - DEMOLITION

- 1 COMPLETELY REMOVE EXISTING STUD PARTITION WALL IN ITS ENTIRETY INCLUDING, BUT NOT LIMITED TO: DOORS, FRAMES, HARDWARE, WINDOWS, WALL BASE, AND ALL SURFACE MOUNTED ITEMS). EXISTING COLUMNS TO REMAIN. SEE PLUMBING, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORK. PREP FOR NEW CONSTRUCTION.
- 2 COMPLETELY REMOVE BROADLOOM CARPET, MASTIC AND WALL BASE. PREP FOR NEW FINISH
- 3 REMOVE PORTION OF TILE FLOORING, MORTAR AND TILE BASE. PREP FOR NEW CONSTRUCTION
- 4 COMPLETELY REMOVE EXISTING CASEWORK IN ITS ENTIRETY. PREP FOR NEW CONSTRUCTION
- 5 REMOVE PORTION OF BRICK AND STUD WALL AS REQUIRED FOR INSTALLATION OF NEW DOOR AND FRAME. PREP FOR NEW CONSTRUCTION. SEE LINTEL SCHEDULE
- 6 OWNER TO REMOVE EXTERIOR BANKTELLER WINDOW. CONTRACTOR TO COORDINATE THE REMOVAL WITH OWNER. CONTRACTOR TO REMOVE PORTION OF WALL BELOW FOR THE INSTALLATION OF NEW DOOR AND FRAME.
- 7 COMPLETELY REMOVE RECESSED NIGHT DEPOSIT BOX FROM WALL. INFILL THE OPENING WITH MATCHING CONSTRUCTION AND PREP FOR NEW FINISH AS SCHEDULED. TURN OVER REMOVED EQUIPMENT TO THE OWNER.
- 8 REMOVE EXISTING CASSED OPENING TRIM WORK. ENLARGE OPENING AS REQUIRED TO INSTALL SALVAGED DOOR AND FRAME IN NEW OPENING.

KEYED NOTES - ARCHITECTURAL - DEMOLITION

- 9 EXISTING TILE TO REMAIN. PROTECT DURING CONSTRUCTION
- 10 CAREFULLY REMOVE VINYL WALLCOVERING FROM ENTIRE ROOM. PREP FOR NEW WALL FINISHES
- 11 EXISTING CARPETING TO REMAIN. PROTECT DURING CONSTRUCTION
- 12 REMOVE EXISTING CONCRETE PAD, CONCRETE ISLANDS, BOLLARDS, CONCRETE CURBS, ETC. COMPLETE. PREP AREA FOR NEW CONSTRUCTION.
- 13 REMOVE EXISTING BRICK MASONRY COLUMN COMPLETE. REMOVE EXISTING STEEL COLUMN AND CONCRETE PIER TO A MIN. 12" BELOW FINISH FLOOR. THE EXISTING FOOTING MAY BE ABANDONED IN PLACE. REFER TO STRUCTURAL DRAWING FOR ADDITIONAL INFORMATION.
- 14 SAWCUT EXISTING FLOOR SLAB AS REQUIRED FOR INSTALLATION OF NEW POWER OUTLETS. FIELD VERIFY EXACT LOCATION PRIOR TO SAWCUTTING. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION. PATCH FLOOR BACK WITH MATCHING CONSTRUCTION. REFER TO 8/56002 FOR DOWELS INTO EXISTING SLAB) AND PREP FOR NEW FINISH AS
- 15 REMOVE BRICK VENEER AND E.I.F.S. COMPLETE.
- 16 SALVAGE DOOR AND FRAME. REINSTALL IN NEW OPENING SEE NOTE 8 AND DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- 17 BASE BID: EXISTING VCT FLOORING AND WALL BASE TO REMAIN. PROTECT DURING CONSTRUCTION. ALTERNATE 4: REMOVE VCT FLOORING, MASTIC AND WALL BASE. PREP FOR NEW FINISHES

ISSUED FOR

DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
DEMOLITION FLOOR PLAN

DATE
JANUARY 9, 2026

SHEET NUMBER
AD 101
25-376.000

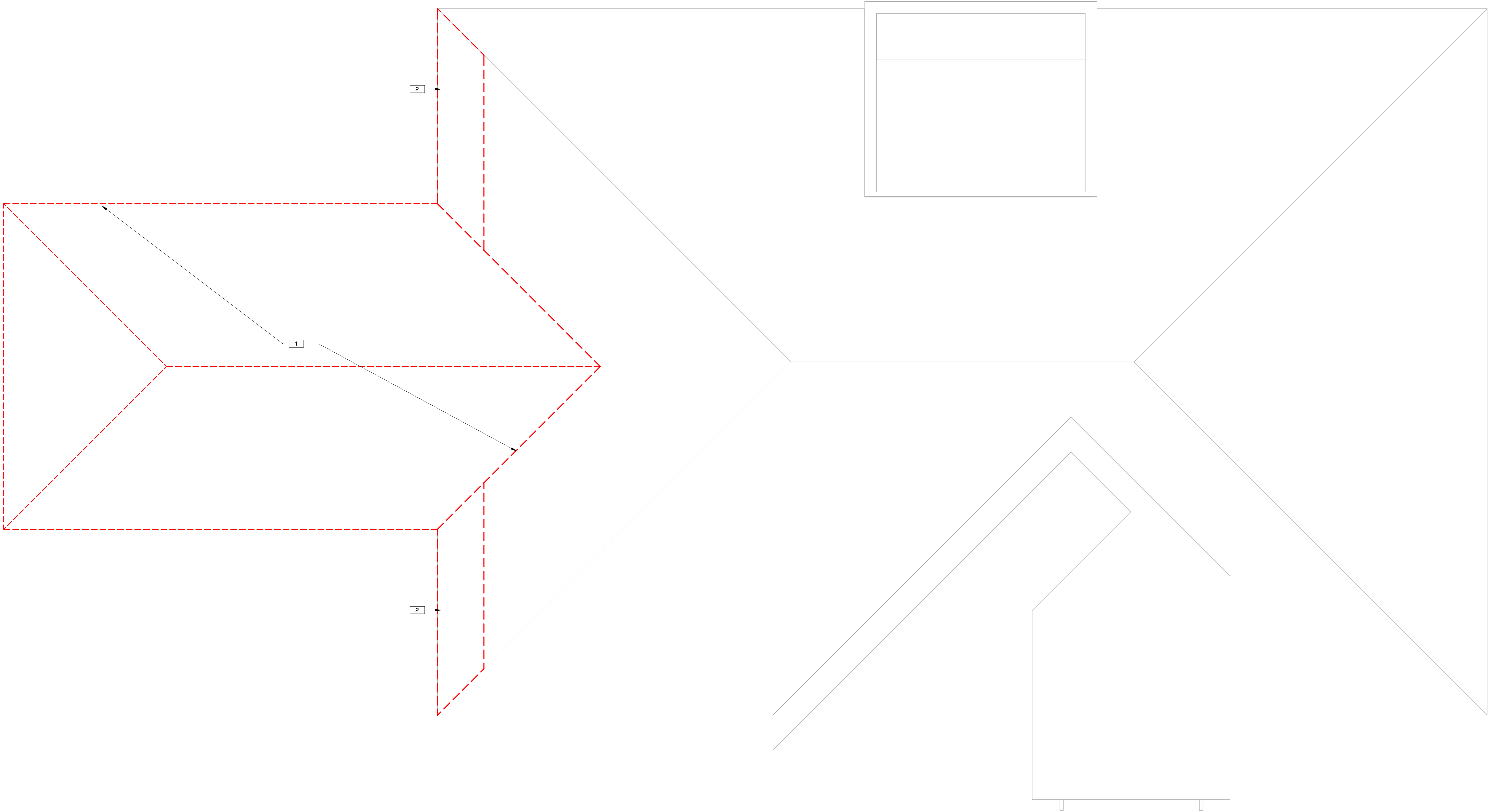
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OVERALL ROOF DEMOLITION PLAN

1/4" = 1'-0"



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KEYED NOTED - ARCHITECTURAL ROOF - DEMOLITION

- 1 REMOVE EXISTING CANOPY COMPLETE INCLUDING BUT NOT LIMITED TO COLUMNS, BRICK MASONRY PIERS, LIGHTING FIXTURES, ETC. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL MAINTAIN WEATHERPROOF BUILDING ENVELOPE DURING DEMOLITION WORK AND DURING THE DURATION OF THE CONSTRUCTION OF THE NEW ADDITION. COORDINATE ANY SHUT DOWN TIME OF EXISTING BUILDING SYSTEMS WITH THE OWNER TO MINIMIZE DISRUPTION OF OWNERS DAILY OPERATIONS.
- 2 REMOVE EXISTING ROOF OVERHANG COMPLETE INCLUDING BUT NOT LIMITED TO LIGHTING FIXTURES, ETC. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL MAINTAIN WEATHERPROOF BUILDING ENVELOPE DURING DEMOLITION WORK AND DURING THE DURATION OF THE CONSTRUCTION OF THE NEW ADDITION. COORDINATE ANY SHUT DOWN TIME OF EXISTING BUILDING SYSTEMS WITH THE OWNER TO MINIMIZE DISRUPTION OF OWNERS DAILY OPERATIONS.

SHEET TITLE

DEMOLITION ROOF PLAN

OWNER

TEAMSTERS LOCAL 2727

PROJECT TITLE

TEAMSTERS LOCAL 2727
BUILDING ADDITION

ISSUED FOR

SHEET NUMBER

AD 102

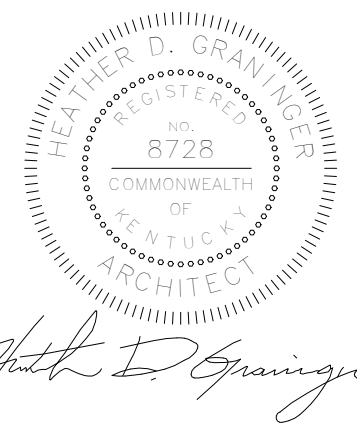
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DATE

JANUARY 9, 2026

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DATE

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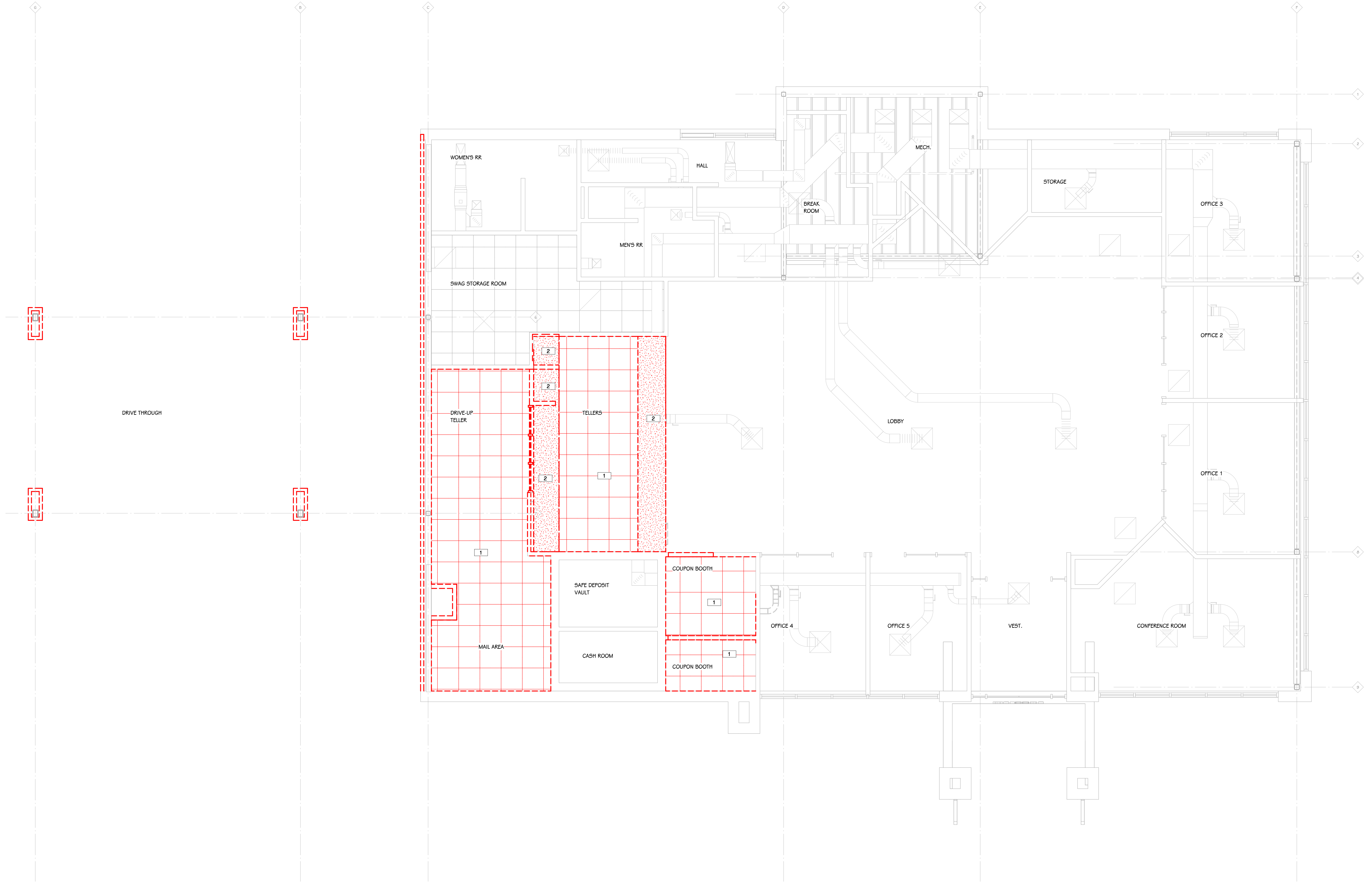
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 **DEMOLITION REFLECTED CEILING PLAN**
1/4" = 1'-0"

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- KEYED NOTES - REFLECTED CEILINGS - DEMOLITION**
- 1 COMPLETELY REMOVE CEILING TILE AND GRID SYSTEM FROM ENTIRE ROOM. SALVAGE CEILING TILE & REINSTALL IN NEW GRID. PROVIDE TEMPORARY SUPPORTS AS REQUIRED TO EXISTING STRUCTURE FOR LIGHTS, INTERCOM SPEAKERS, ETC. SEE ELECTRICAL, MECHANICAL, AND PLUMBING FOR ADDITION
 - 2 COMPLETELY REMOVE GYPSUM BOARD SOFFIT (INCLUDING ASSOCIATED FRAMING) IN ITS ENTIRETY.



SHEET TITLE

DEMOLITION REFLECTED CEILING PLAN

OWNER

TEAMSTERS LOCAL 2727

PROJECT TITLE

TEAMSTERS LOCAL 2727
BUILDING ADDITION

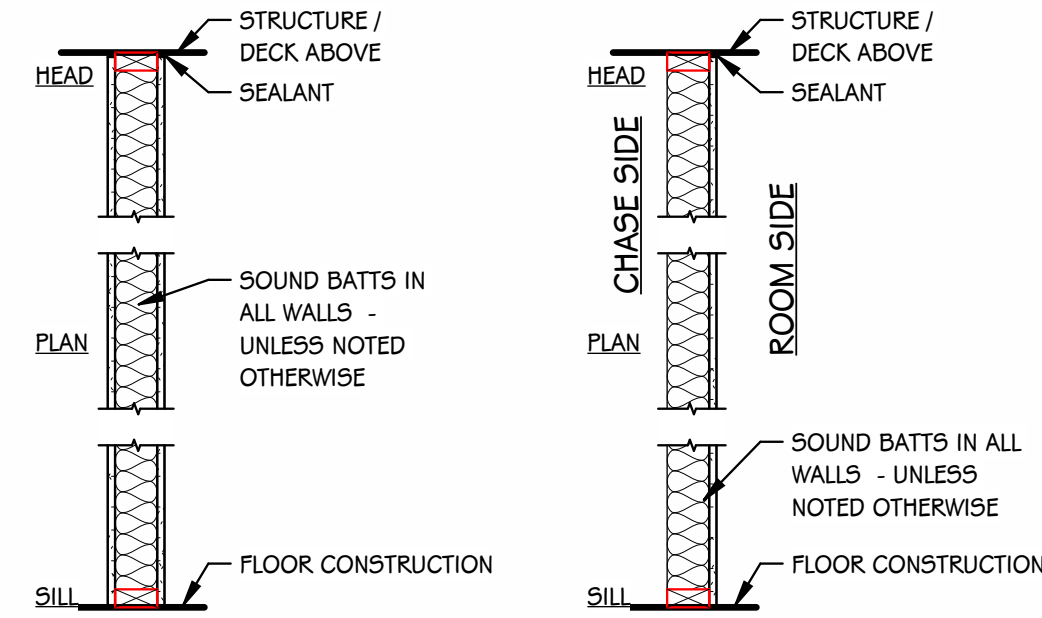
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SHEET NUMBER
AD 201
25-376.000

DATE
JANUARY 9, 2026

4810 N Preston Hwy
Shepherdsville, KY





134 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD BOTH SIDES; (1 HOUR FIRE) U.L. ASSEMBLY US05 WHERE NOTED ON PLANS

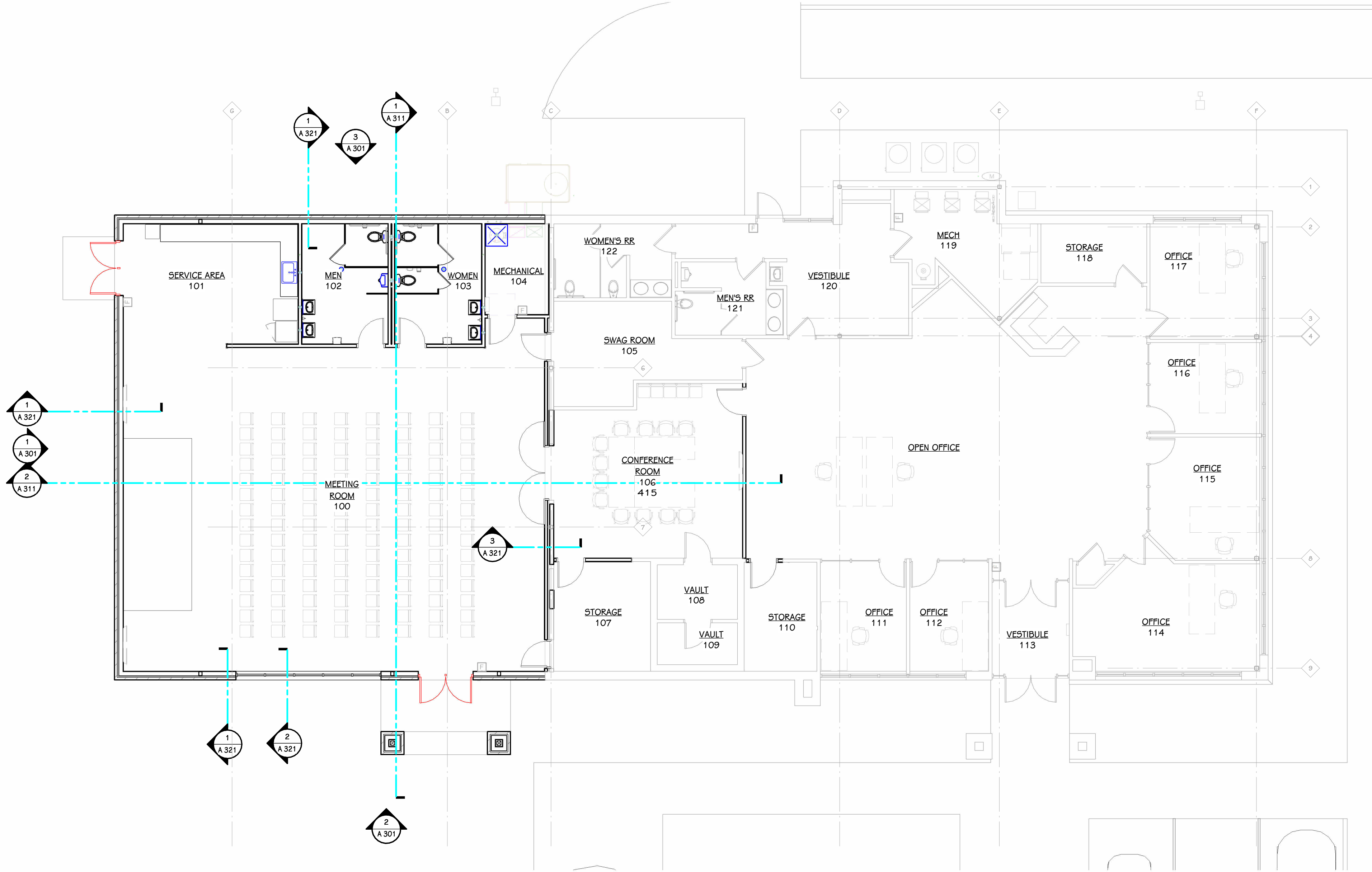
135 WOOD STUDS @ 16" O.C. WITH 5/8" GYPSUM BOARD ON ROOM SIDE - BRACE WALL @ 4'-0" O.C. MAXIMUM.

WOOD STUD WALL

WOOD STUD CHASE WALL

INTERIOR PARTITION TYPES

3/4" = 1'-0"



OVERALL FLOOR PLAN

1/8" = 1'-0"

- #### NOTES - ARCHITECTURAL
- 1 REFER TO CODE COMPLIANCE PLAN FOR WALL RATING LINES.
 - 2 REFER TO SHEET A401 FOR INTERIOR ELEVATION CALLOUTS.
 - 3 REFER TO SHEET A 500's FOR WALL AND CEILING ACCESS PANEL INFORMATION.
 - 4 ALL FURNITURE SHOWN IS FOR REFERENCE ONLY.

- #### GENERAL NOTES - ARCHITECTURAL - PARTITIONS
- 1 NOT ALL WALL TYPES MAY BE USED ON PROJECT.
 - 2 REFER TO CODE COMPLIANCE PLANS FOR LOCATIONS OF SMOKE AND FIRE-RATED PARTITIONS.
 - 3 ALL PARTITIONS EXTEND TO BOTTOM OF STRUCTURE, UNLESS NOTED OTHERWISE.
 - 4 LINE OF STRUCTURE/DECK AS SHOWN AT THE HEAD CONDITION OF EACH PARTITION TYPE IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS. TERMINATE RATED PARTITIONS AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN RATING. PROVIDE APPROPRIATE FRAMING AND GYPSUM BOARD TO OFFSET AROUND STRUCTURE OR OTHER OBSTRUCTIONS, SUCH AS PIPING OR DUCTWORK.
 - 5 PARTITIONS MAY TERMINATE AT STRUCTURAL MEMBERS WITH A RATING GREATER THAN OR EQUAL THE PARTITION, PROVIDED THAT RATING IS CONTINUOUS TO STRUCTURAL DECK ABOVE.
 - 6 NON-RATED PARTITIONS THAT EXTEND TO STRUCTURE SHALL TERMINATE AT UNDERSIDE OF STRUCTURAL DECK TO MAINTAIN A CONTINUOUS PLANE OF GYPSUM BOARD AS A NOISE, SMOKE OR OTHER TYPE OF BARRIER.
 - 7 ALL PARTITIONS EXTENDING TO STRUCTURE ABOVE SHALL TERMINATE WITH DEFLECTION TRACK - REFER TO INTERIOR PARTITION TYPE DETAIL ON THIS SHEET.
 - 8 ALL GYPSUM BOARD PARTITIONS NOT EXTENDING TO THE STRUCTURE MUST BE BRACED.
 - 9 UL DESIGN NUMBERS REFER TO THE FIRE RESISTANCE DIRECTORY; UNDERWRITERS LABORATORY, LATEST EDITION.
 - 10 MISCELLANEOUS NON-RATED CHASES TO BE 5/8" GYPSUM BOARD ON 3 5/8" METAL STUD FRAMING AT 16" O.C., UNLESS NOTED OTHERWISE.
 - 11 MISCELLANEOUS FURRING AROUND COLUMNS TO BE 5/8" GYPSUM BOARD ON 1 1/2" STUDS, UNLESS NOTED OTHERWISE.
 - 12 FIRE-RATED PARTITIONS TO HAVE FIRE-STOPPING SEALANTS AT HEAD, SILL JUNCTURE WITH DISSIMILAR MATERIALS, ETC. AND AROUND ALL PENETRATIONS AND OPENINGS.
 - 13 CONSTRUCT ALL PARTITIONS WITH SOUND ATTENUATION BATTS WITH THE FOLLOWING SOUND BATT THICKNESS: 2 1/2" OR LESS METAL STUD - 1 1/2" THICKNESS, 3 5/8" OR LARGER METAL STUD - 3" THICKNESS. UNLESS NOTED OTHERWISE.

PARTITION STUD KEY - METAL, CH, AND WOOD

METAL STUD/FURRING	DESIGNATION	SIZE
A	GYPSUM BOARD DIRECT APPLIED TO CMU	
B	7/8"	
C	1 1/2"	
D	1 5/8"	
E	2 1/2"	
F	3 1/2"	
G	3 5/8"	
H	4	
J	5 1/2"	
K	6"	
L	8"	
M	10"	
N	12"	
P	OPEN	
Q	OPEN	
METAL STUD/FURRING	DESIGNATION	SIZE
R	2 1/2"	
S	4"	
T	6"	
WOOD STUD/FURRING	DESIGNATION	SIZE
U	2"x4"	
V	2"x6"	
W	2"x8"	

PARTITION TYPE TAG (REFER TO FLOOR PLANS)

PARTITION TYPE NUMBER

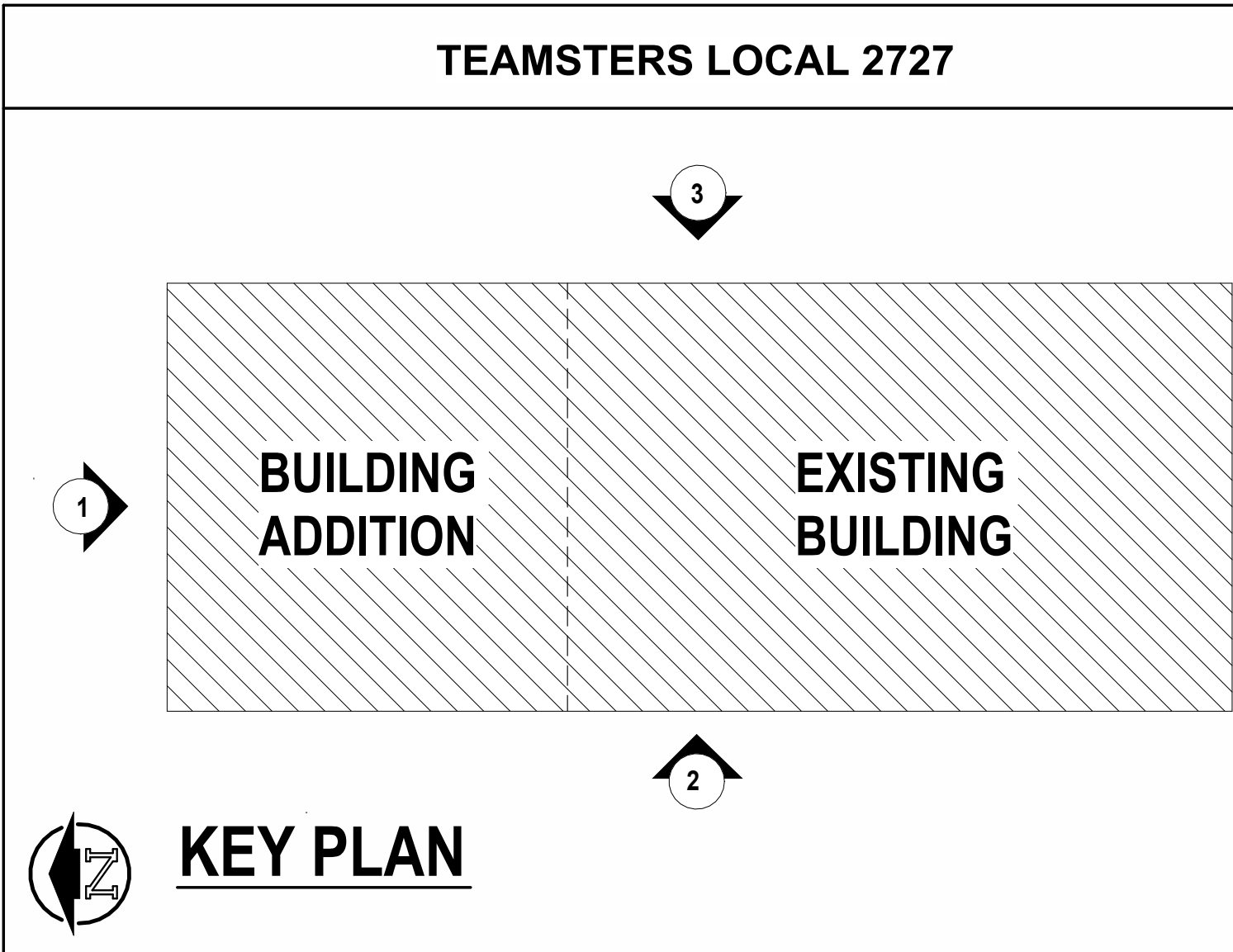
STUD SIZE DESIGNATION

FIRE RATING, IF REQUIRED

- #### GENERAL NOTES - ARCHITECTURAL - DEMOLITION
- 1 CONTRACTORS ARE REQUIRED TO INSPECT/REVIEW THE EXISTING BUILDING PRIOR TO RELATED DEMOLITION WORK. UNLESS NOTED OTHERWISE, REMOVAL OF ANY WALL, FLOOR OR CEILING INCLUDES ALL GENERAL MECHANICAL AND ELECTRICAL ITEMS WHICH ARE A PART OF, OR ATTACHED TO IT.
 - 2 CONTRACTOR SHALL VERIFY ALL EXISTING JOB SITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. ADVISE CONSTRUCTION MANAGER OF ANY AND ALL DISCREPANCIES.
 - 3 PATCH FLOORS, WALLS AND CEILINGS DAMAGED DURING CONSTRUCTION AND DEMOLITION AS REQUIRED. FINISH TO MATCH EXISTING.
 - 4 ACCOMMODATE NEW CONSTRUCTION IF NOT INDICATED.
 - 5 PROTECT ALL EXISTING FINISHES THROUGHOUT PROJECT.
 - 6 REFER TO DEMOLITION ELEVATIONS, SECTIONS AND DETAILS FOR ADDITIONAL INFORMATION.
 - 7 REFER TO STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL PLANS FOR ADDITIONAL DEMOLITION NOTES.
 - 8 SALVAGE ALL UNISTRUT AND PROTECT FOR RE-USE IN NEW CONSTRUCTION, IF REQUIRED.
 - 9 AT LOCATIONS OF REMOVED WALLS, ALL ASSOCIATED ITEMS ATTACHED TO THE WALL ARE TO BE REMOVED. SUCH AS: DOORS, WINDOWS, FRAMES, MARKERBOARDS, TACKBOARDS, TACK STRIPS, ETC.

GENERAL NOTES - ARCHITECTURAL - NEW CONSTRUCTION

- 1 THE OWNER RESERVES THE RIGHT TO REMOVE ANY ITEM FROM THE PROJECT PRIOR TO COMMENCEMENT OF CONTRACTED DEMOLITION WORK.
- 2 ALL EXISTING CONDITIONS SHOULD BE FIELD VERIFIED BEFORE WORK BEGINS.
- 3 DIMENSIONS GIVEN ARE ACTUAL AND ARE TO THE FACE OF MASONRY UNITS OR TO THE FACE OF STUD FRAMING, UNLESS NOTED OTHERWISE.
- 4 DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR CONDITIONS NOT SHOWN, USE DETAILS CLOSEST TO CONDITION IN QUESTION.
- 5 EXTEND ALL INTERIOR WALL PARTITIONS FROM FLOOR TO STRUCTURE/DECK ABOVE UNLESS NOTED OR DETAILED OTHERWISE.
- 6 DOORS ARE TO BE 4" FROM CORNER OF ROOM, UNLESS NOTED OR DIMENSIONED OTHERWISE.
- 7 FIRESTOP ALL INTERCONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES AND CONCEALED WALL SPACES AT CEILING, FLOOR AND ROOF LEVELS.
- 8 FIRESEAL ALL PENETRATIONS, SUCH AS, PIPES, DUCTS, CONDUITS, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES.
- 9 FOR CONTROL JOINT (C.J.) LOCATIONS REFER TO EXTERIOR ELEVATIONS AND/OR FLOOR PLANS.
- 10 PAINT ALL ELECTRICAL PANEL COVERS AND ACCESS PANELS TO MATCH ADJACENT FINISHES. USING OIL-BASED PAINT, NOT LATEX WALL PAINT.
- 11 PROVIDE WOOD BLOCKING IN WALLS THAT REQUIRE WALL MOUNTED EQUIPMENT OR ACCESSORIES. COORDINATE WITH EQUIPMENT OR ACCESSORY MANUFACTURER.
- 12 PROVIDE ALL ASSOCIATED CURBS FOR ROOF TOP EQUIPMENT AND MECHANICAL ROOF TOP UNITS. LARGE VOIDS BELOW THE AIR HANDLING UNITS SHALL BE FILLED WITH INSULATION AS SPECIFIED FOR NOISE CONTROL.
- 13 ALL EXISTING ROOF TOP PENETRATIONS BEING REMOVED REQUIRE ROOF PATCHING TO MATCH EXISTING ADJACENT.
- 14 AT AREAS THAT REQUIRE DEMOLITION OF ADJACENT MATERIALS OR FINISHES FOR THE INSTALLATION OF NEW WORK, THE DISTURBED ITEMS INTENDED TO BE EXISTING TO REMAIN SHALL BE PATCHED OR RESTORED TO ORIGINAL CONDITION.



KEY PLAN

ISSUED FOR

DATE

PROJECT TITLE

TEAMSTERS LOCAL 2727

BUILDING ADDITION

OWNER

TEAMSTERS LOCAL 2727

4810 N Preston Hwy

Shepherdsville, KY

SHEET TITLE

OVERALL FLOOR PLAN

DATE

JANUARY 9, 2026

SHEET NUMBER

A 100

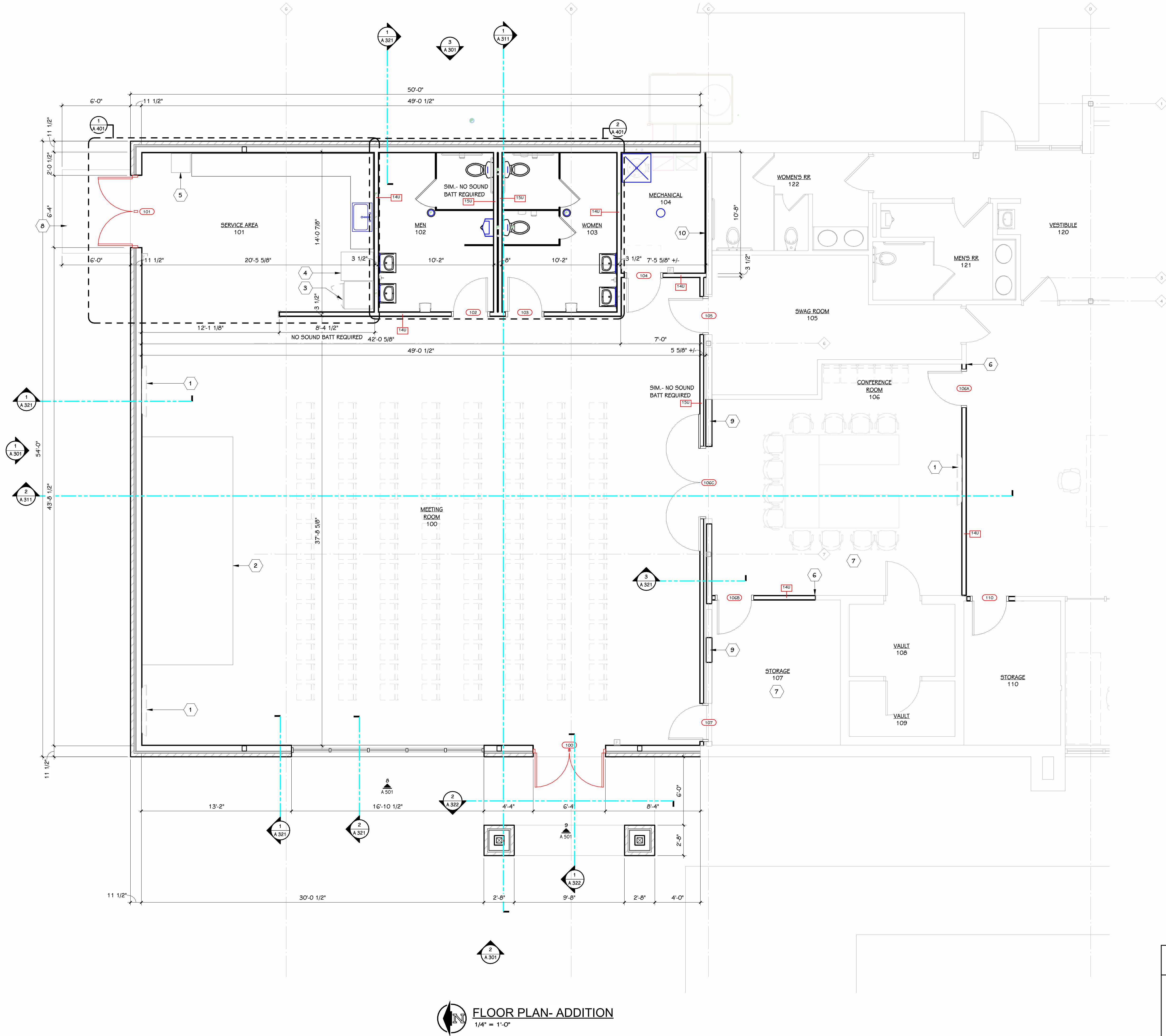
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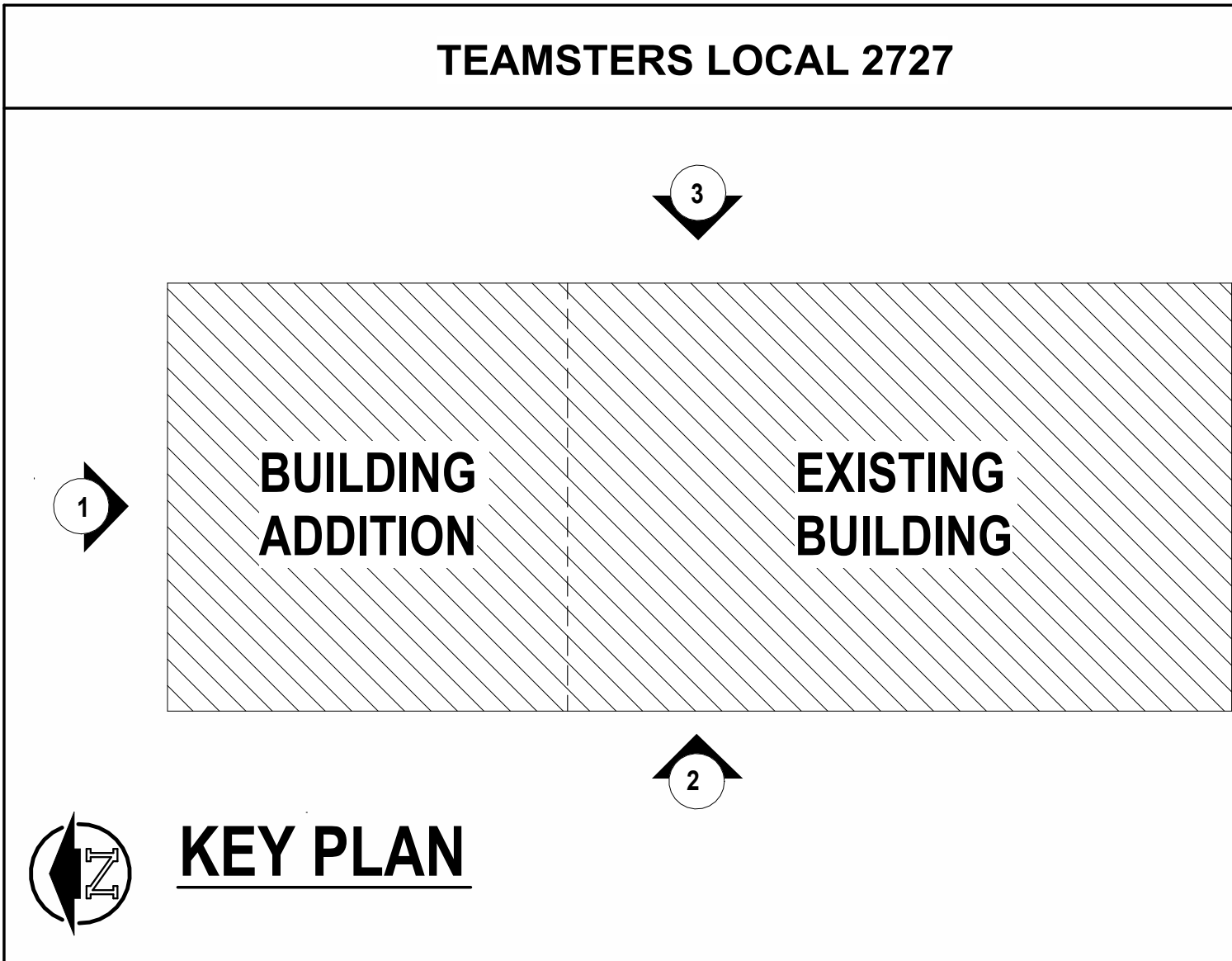
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FLOOR PLAN- ADDITION
1/4" = 1'-0"

NOTES - ARCHITECTURAL	
1	REFER TO CODE COMPLIANCE PLAN FOR WALL RATING LINES.
2	REFER TO SHEET A401 FOR INTERIOR ELEVATION CALLOUTS.
3	REFER TO SHEET A 500's FOR WALL AND CEILING ACCESS PANEL INFORMATION.
4	ALL FURNITURE SHOWN IS FOR REFERENCE ONLY.
KEYED NOTES - ARCHITECTURAL - CONSTRUCTION	
1	WALL MOUNTED TELEVISION, O.F.C.I. CONTRACTOR TO PROVIDE WOOD BLOCKING. CONTRACTOR TO VERIFY MOUNTING HEIGHT WITH THE OWNER.
2	PLATFORM, O.F.O.I.
3	COOLER, O.F.O.I.
4	ICE MACHINE, O.F.O.I.
5	FREESTANDING TRASHCAN, O.F.O.I.
6	FACE OF NEW GYPSUM WALL BOARD ON NEW PORTION OF WALL SHALL BE FLUSH WITH EXISTING GYPSUM WALL BOARD ON EXISTING WALL, BOTH SIDES IF APPLICABLE.
7	SKIM COAT ALL WALLS WHERE WALLCOVERING WAS REMOVED AS REQUIRED FOR NEW PAINTED WALL FINISH.
8	EXTERIOR CONCRETE SIDE WALK (SEE CIVIL).
9	INFILL EXISTING OPENING WITH MATCHING CONSTRUCTION AND PREP FOR NEW FINISH AS SCHEDULED.
10	5/8" GYPSUM WALL BOARD ON EXISTING FRAMING.

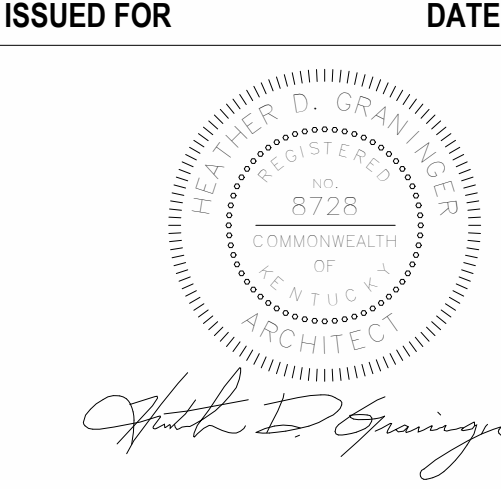


SHEET TITLE
FLOOR PLAN - ADDITION

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

ISSUED FOR



DATE

DATE
JANUARY 9, 2026

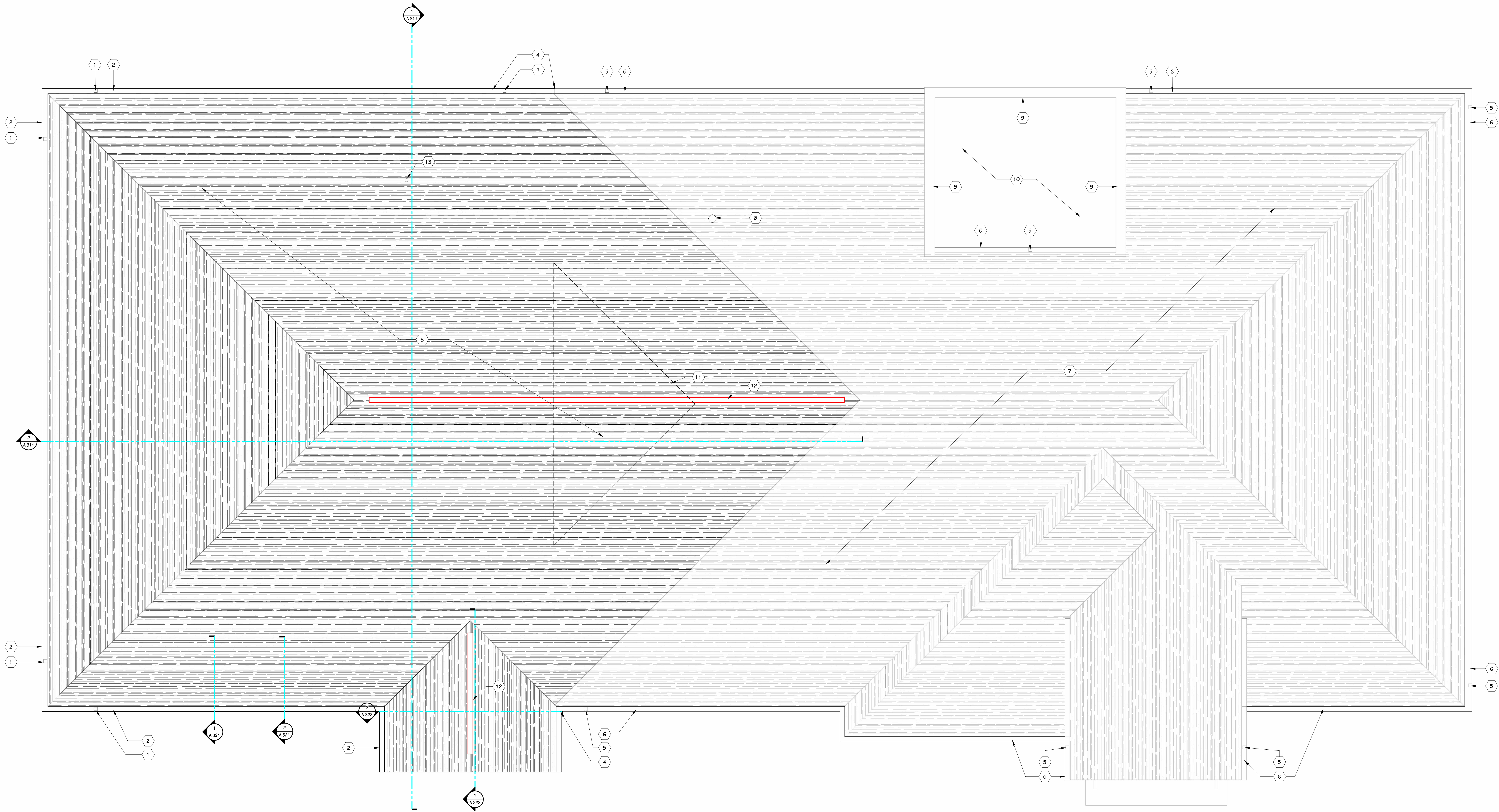
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Shepherdsville, KY

SHEET NUMBER
A 101
25-376.000

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OVERALL ROOF PLAN
1/4" = 1'-0"



KEYED NOTES - ARCHITECTURAL - ROOF

- 1 PREFIN. MTL. DOWNSPOUTS- MATCH EXISTING SIZE AND PROFILE
- 2 PREFIN. MTL. GUTTER- MATCH EXISTING SIZE AND PROFILE
- 3 ASPHALT SHINGLES- MATCH EXISTING
- 4 PREFIN. MTL. GUTTER- TIE INTO EXIST. METAL GUTTER
- 5 EXISTING METAL DOWNSPOUT
- 6 EXISTING METAL GUTTER
- 7 EXISTING ASPHALT SHINGLES SEE ALTERNATE #1 FOR ADDITIONAL INFORMATION.
- 8 EXISTING VENT THRU ROOF
- 9 EXISTING METAL COPING
- 10 EXISTING SINGLE PLY ROOF MEMBRANE
- 11 EXISTING DRAWINGS INDICATE ROOF SHEATHING BELOW ROOF OVERFRAMING OF THE DRIVE THROUGH CANOPY. THE CONTRACTOR SHALL MAINTAIN THE MAIN ROOF SHEATHING FOR WEATHER PROOF ENCLOSURE DURING DEMOLITION OF DRIVE THROUGH CANOPY. THE EXISTING SHEATHING MUST ALSO BE MAINTAINED AS A SMOKE BARRIER. IF IT IS FOUND THAT THE AREA DOES NOT HAVE SHEATHING AS INDICATED ON THE EXISTING DRAWINGS NEW SHEATHING TO MATCH SHALL BE PROVIDED AND INSTALLED.
- 12 CONTINUOUS RIDGE VENT
- 13 PLUMBING VENT THROUGH ROOF

ISSUED FOR

DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
OVERALL ROOF PLAN

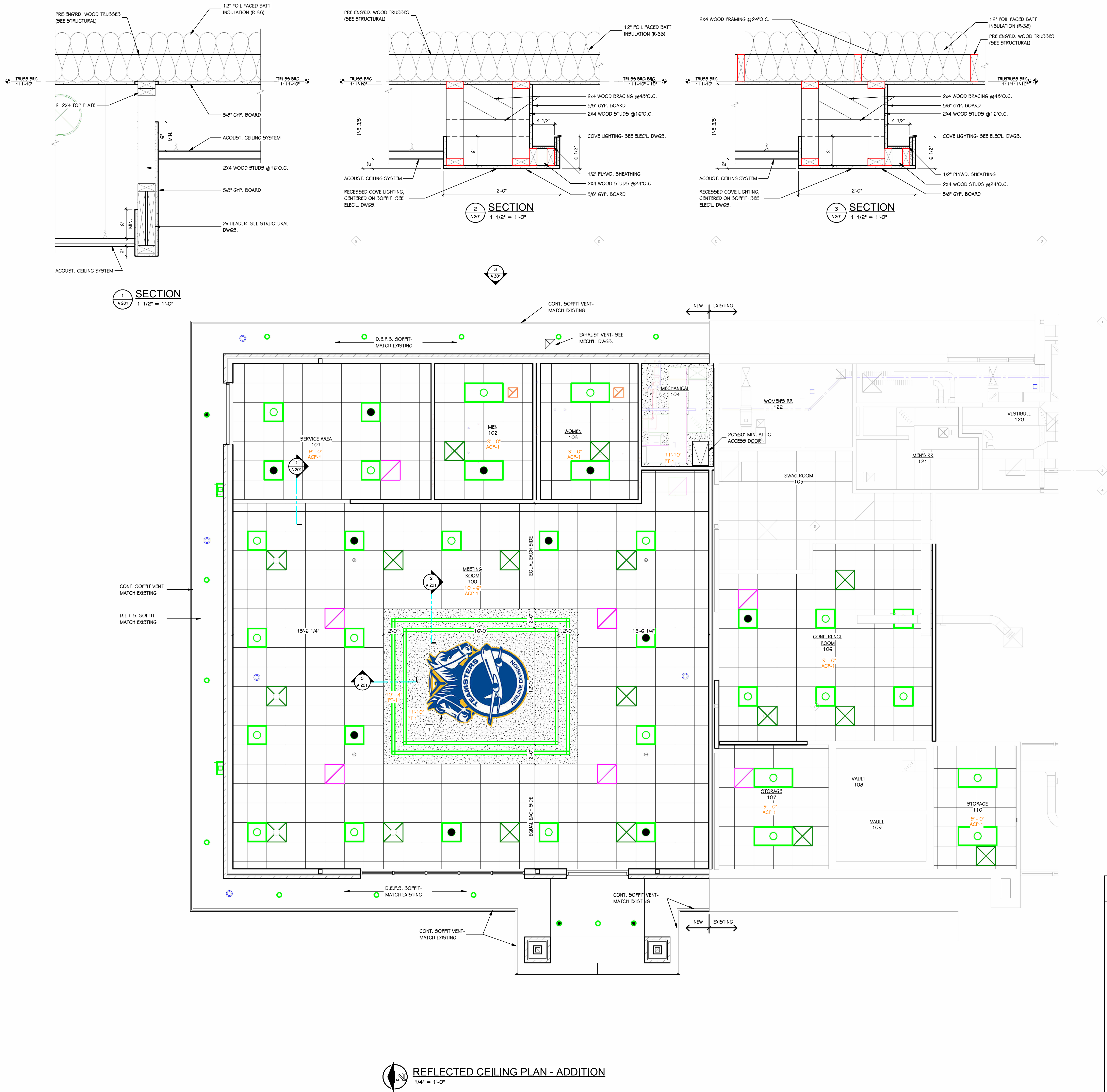
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KEY - REFLECTED CEILING

- GYPSUM BOARD
- LAY-IN ACOUSTICAL TILE GRID
- OR ○ LIGHTING - REFER TO ELECTRICAL LIGHTING PLAN
- ☒ ☒ MECHANICAL - REFER TO MECHANICAL SHEET METAL PLAN

GENERAL NOTES - REFLECTED CEILINGS

- REFER TO MECHANICAL, ELECTRICAL AND EQUIPMENT DRAWINGS FOR CLARIFICATION OF SYMBOLS USED ON THE REFLECTED CEILING PLAN TO ILLUSTRATE LAYOUT OF ITEMS WITHIN CEILING SYSTEM.
- ALL CEILING HEIGHTS ARE TO BE AS NOTED. COORDINATE THIS FINISHED CEILING HEIGHT WITH ALL OTHER TRADES, AND WITH ALL MECHANICAL, ELECTRICAL AND OTHER EQUIPMENT AND ITEMS ABOVE CEILING.
- UNLESS SPECIFICALLY DIRECTED OTHERWISE, LOCATE ALL GRILLES, REGISTERS, DIFFUSERS, FIXTURES, OR OTHER SUCH EQUIPMENT FLUSH WITH THE CEILING SURFACE AND CENTERED ON TILE.
- SEE FINISH PLAN FOR TYPE AND STYLE OF CEILING SYSTEM

KEYED NOTES - ARCHITECTURAL - REFLECTED CEILING

- TEAMSTERS SINGLE LAYER METAL LOGO. APPROXIMATE SIZE: 12'-0" X 8'-0", O.F.C.I. CONTRACTOR TO COORDINATE WITH OWNER'S SUPPLIER FOR INSTALLATION.

ISSUED FOR

DATE

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
REFLECTED CEILING PLAN - ADDITION

DATE
JANUARY 9, 2026

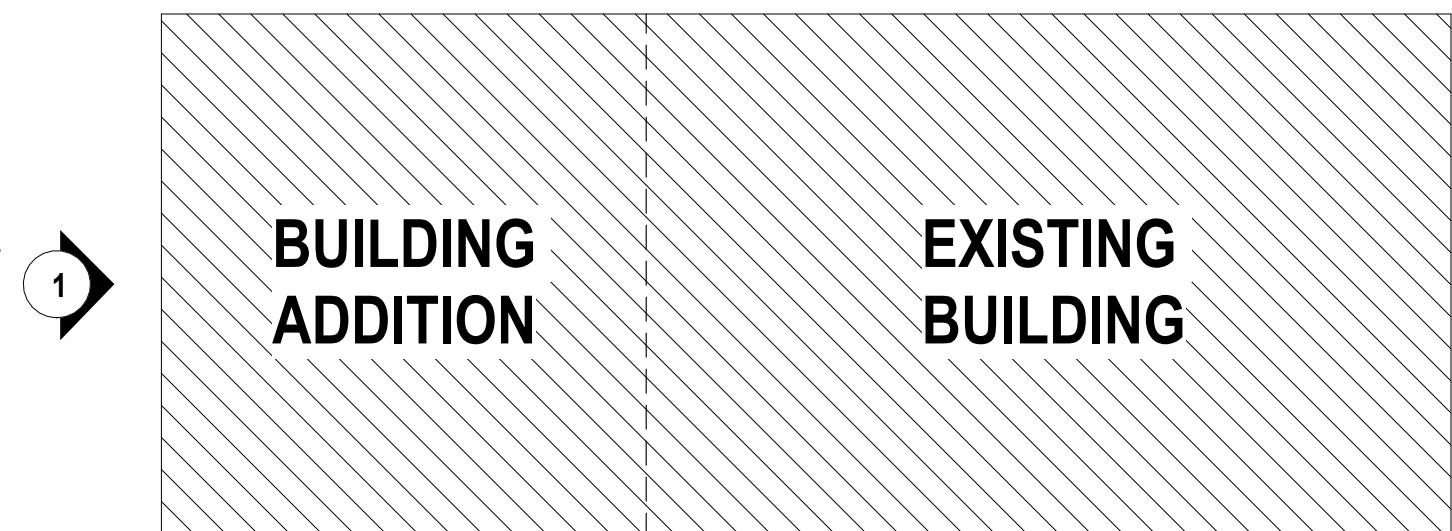
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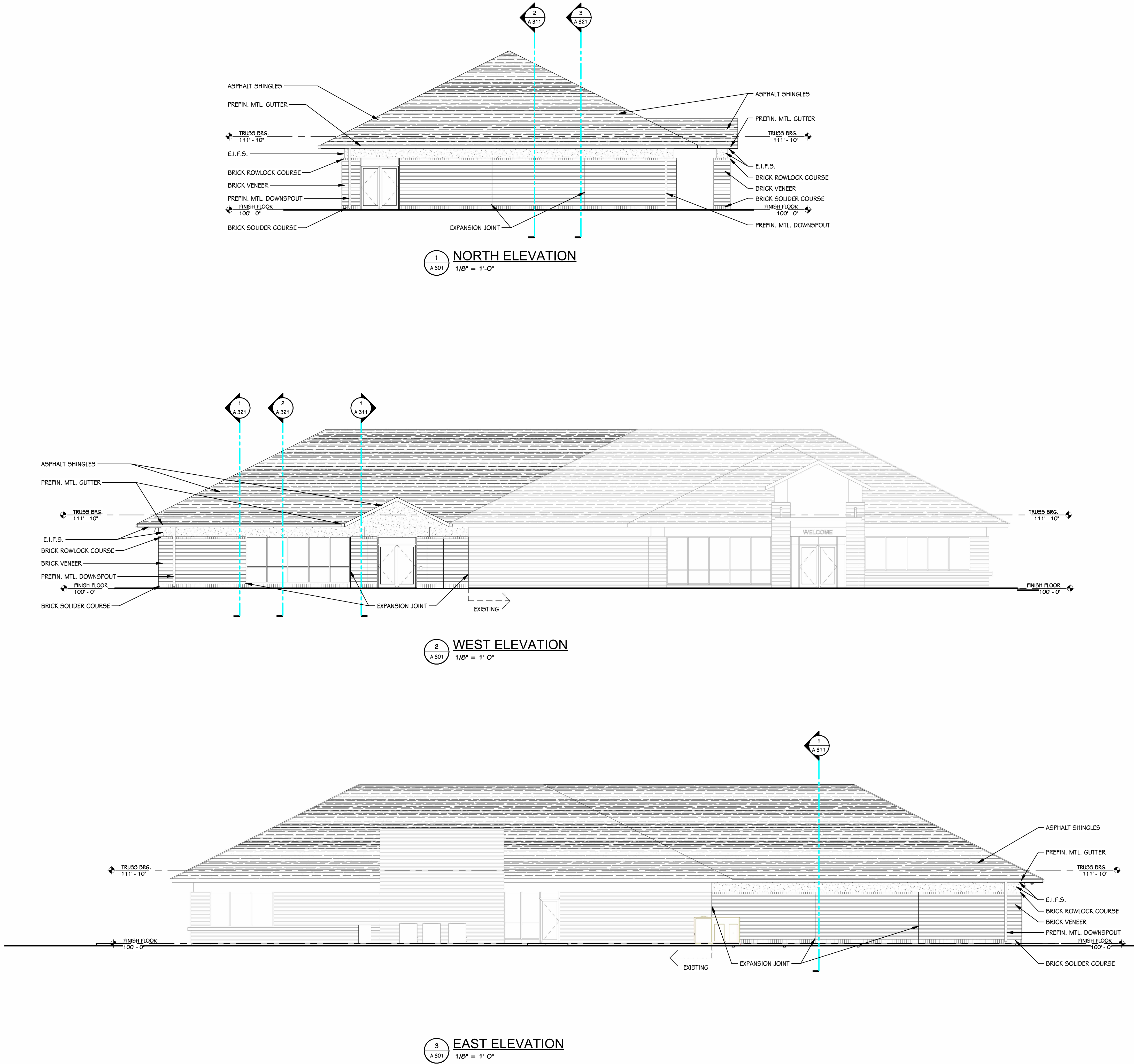
TEAMSTERS LOCAL 2727



BUILDING
ADDITION

EXISTING
BUILDING

KEY PLAN



EXTERIOR ELEVATION KEY

- BRICK 1, COLOR: MATCH EXISTING
- ROOF SHINGLES, COLOR: MATCH EXISTING
- E.I.F.S., COLOR: MATCH EXISTING

SHEET TITLE
EXTERIOR ELEVATIONS

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

ISSUED FOR

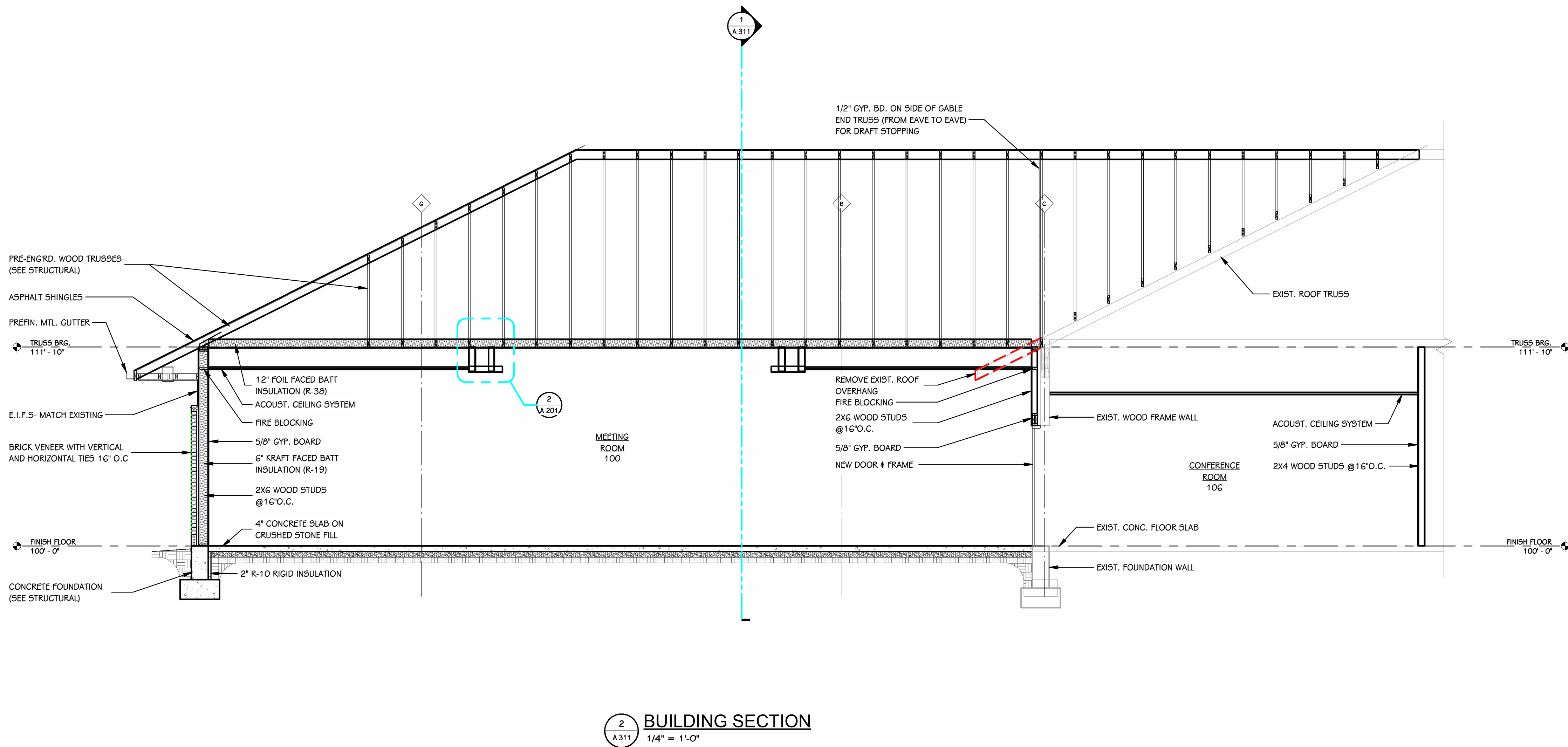
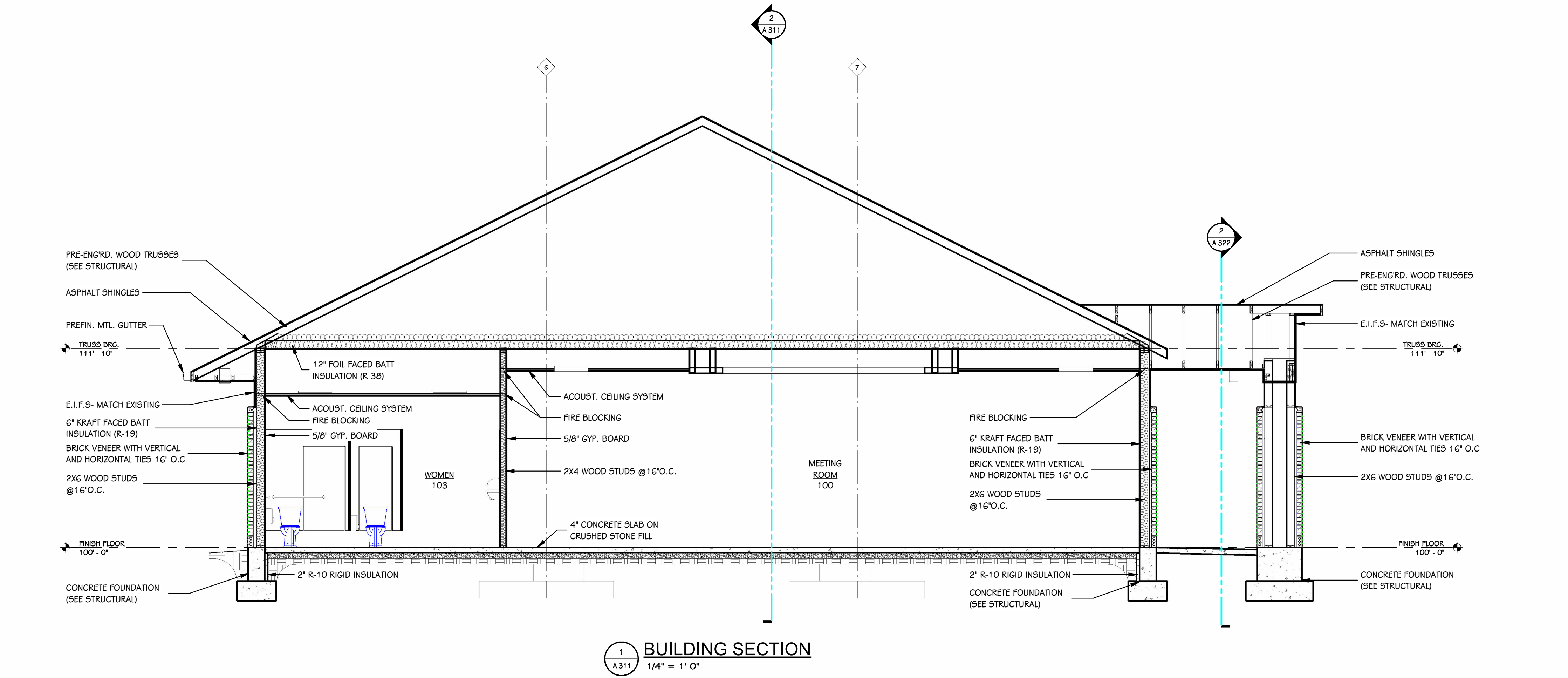
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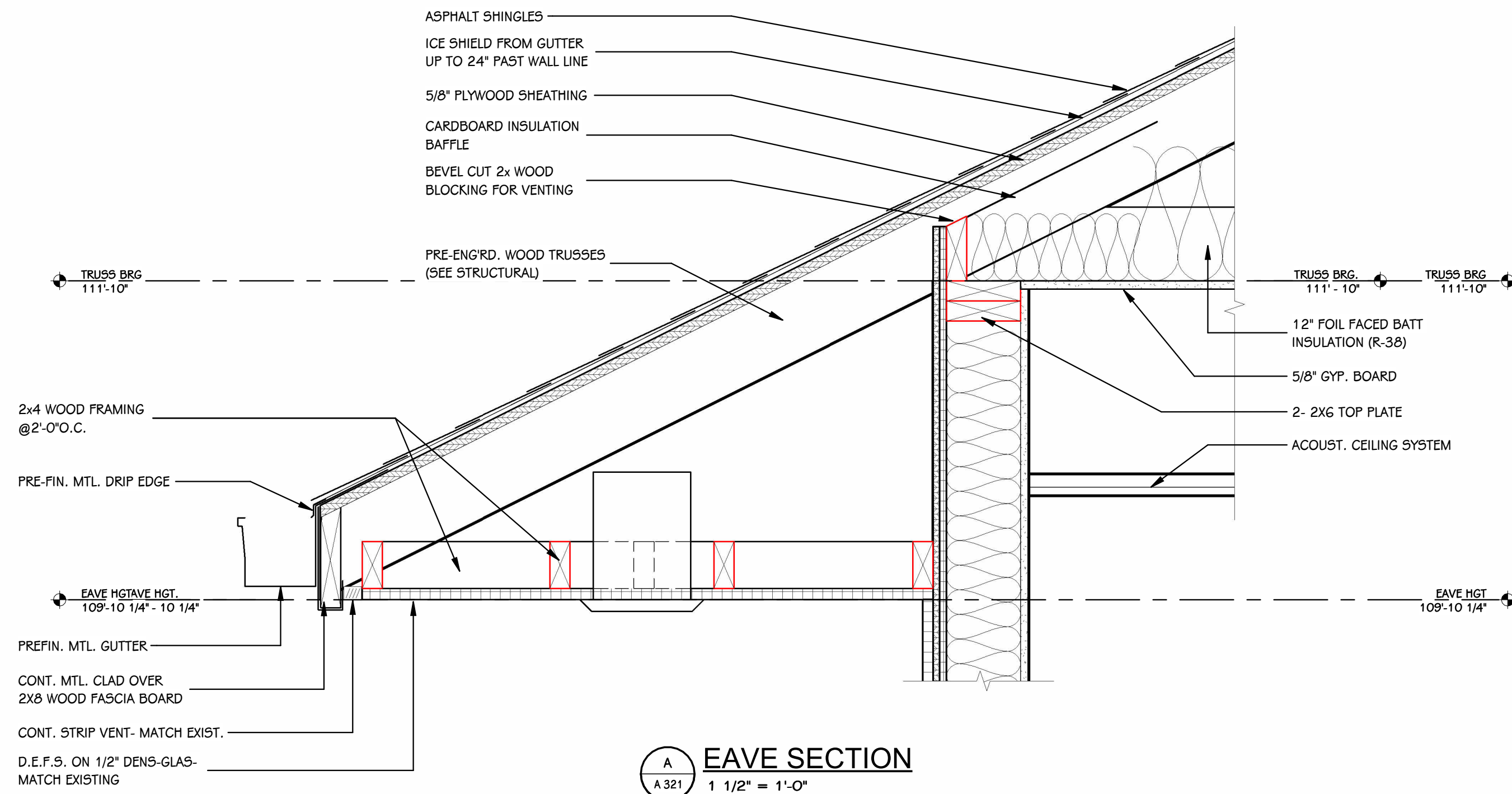
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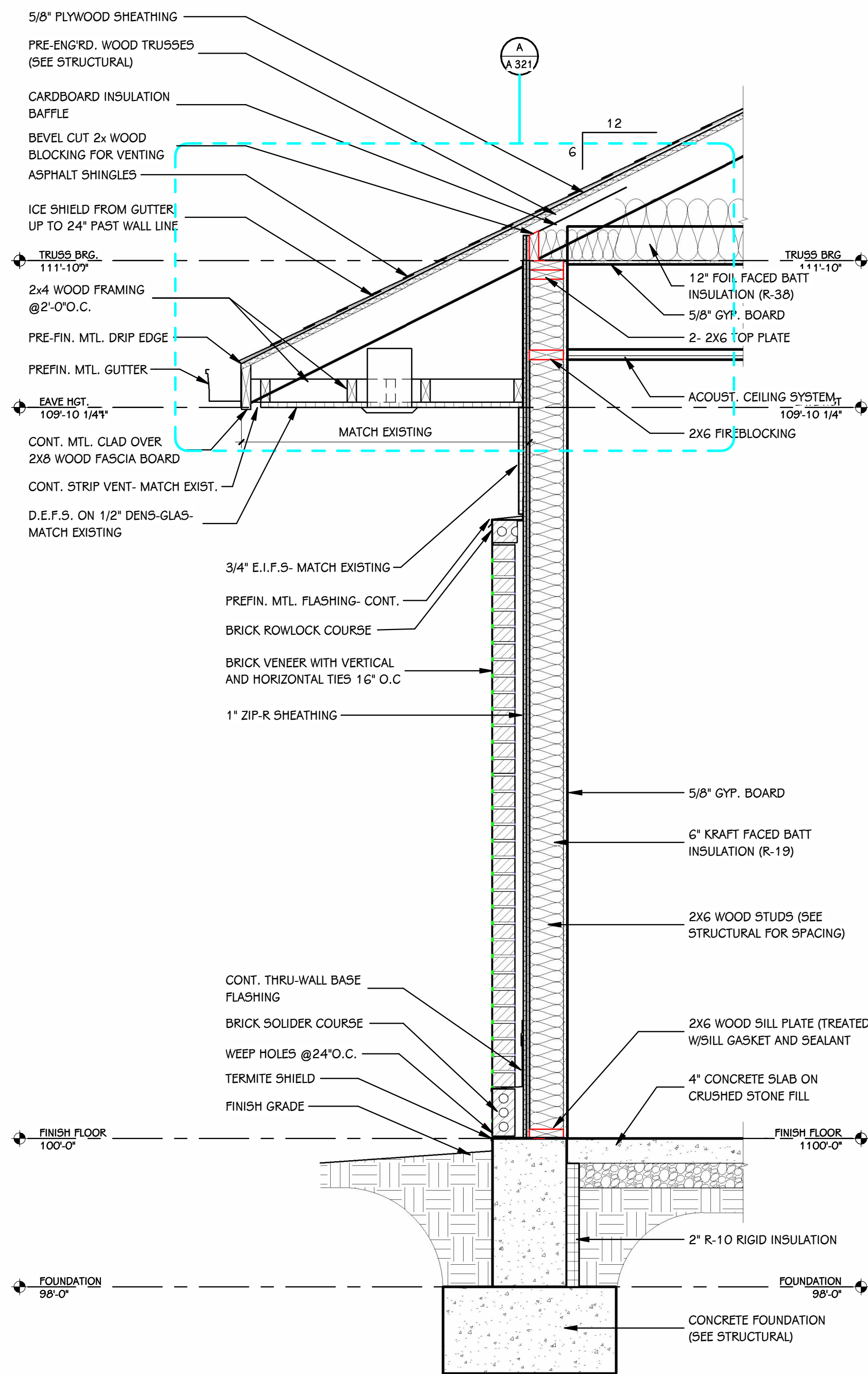


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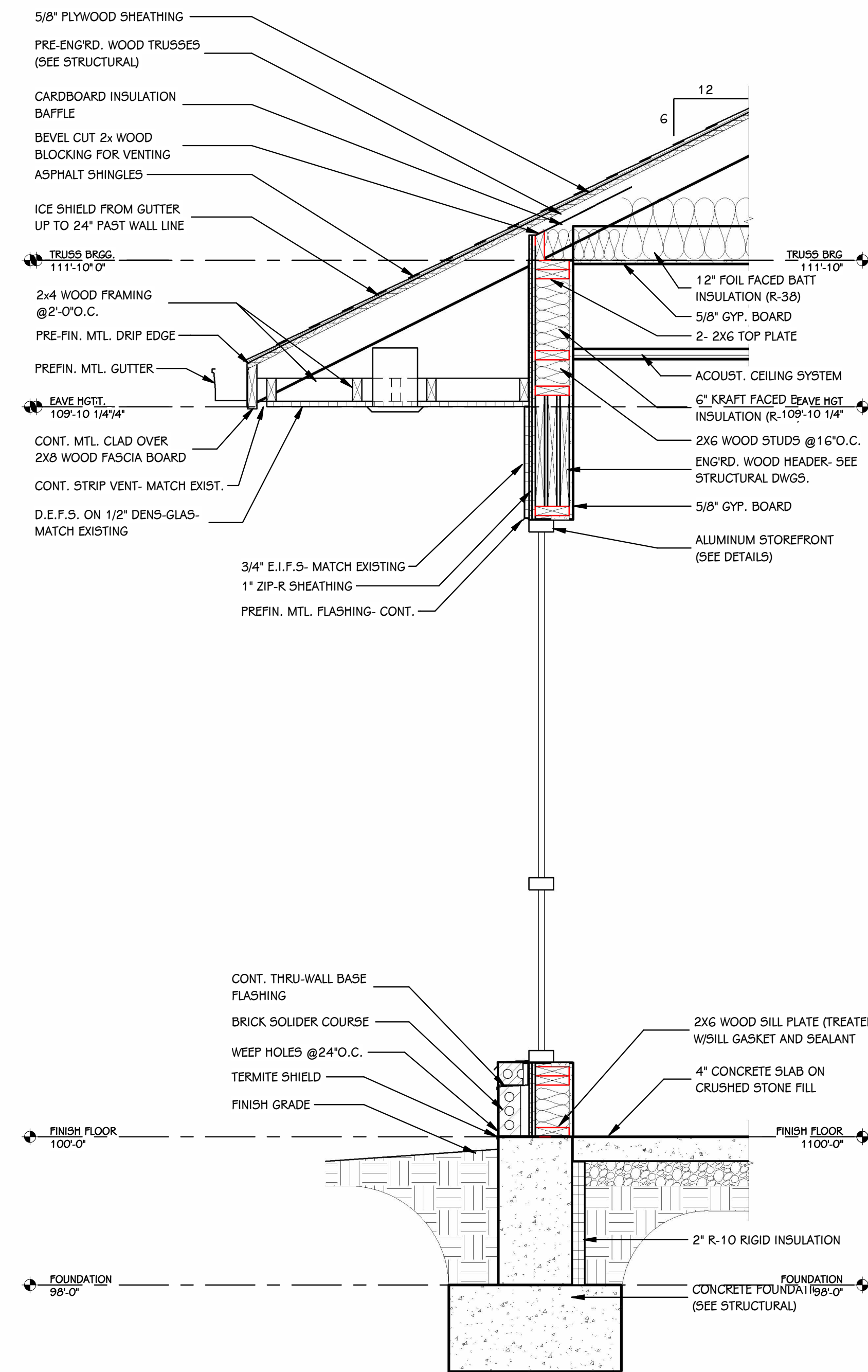




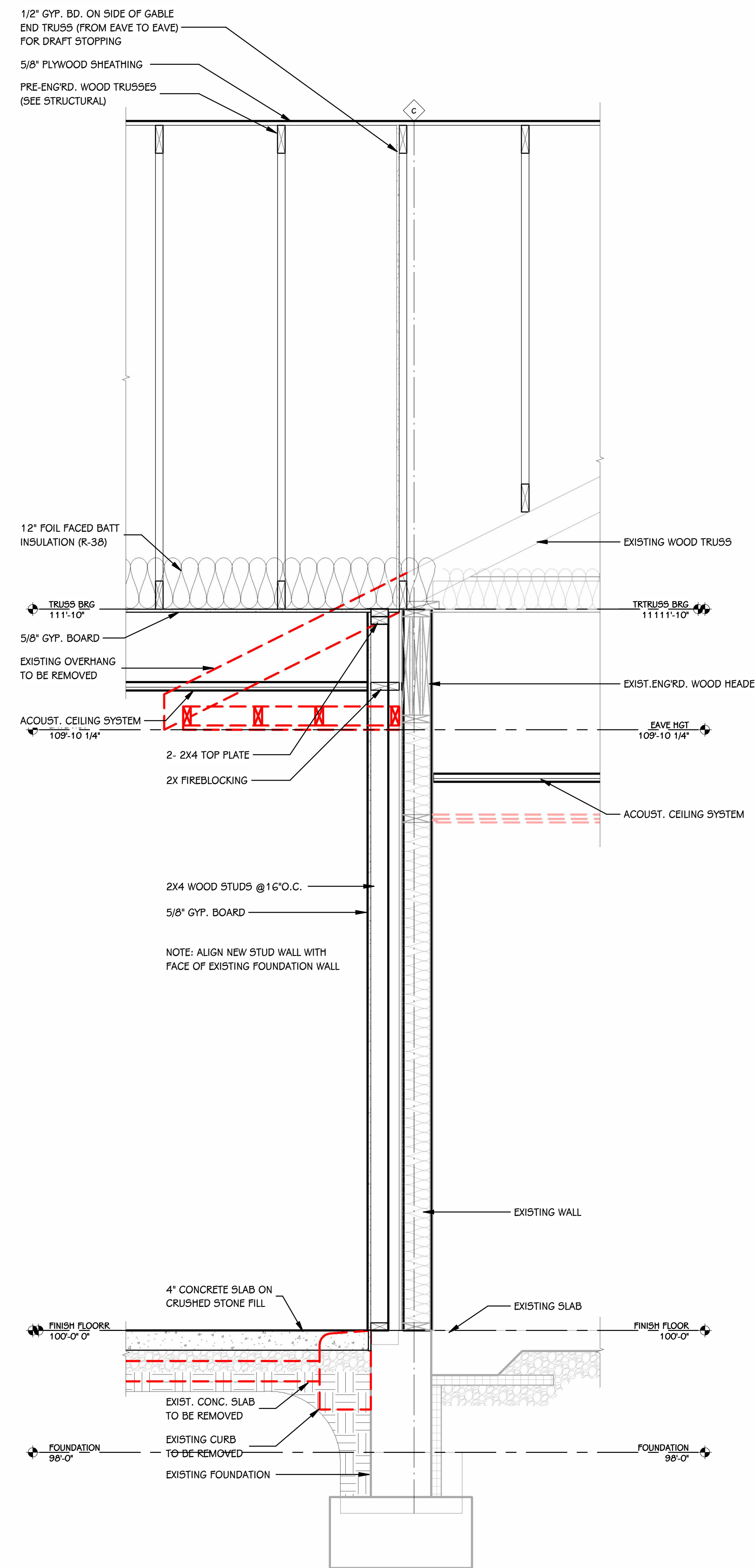
EAVE SECTION
1 1/2" = 1'-0"



1 WALL SECTION
3/4" = 1'-0"

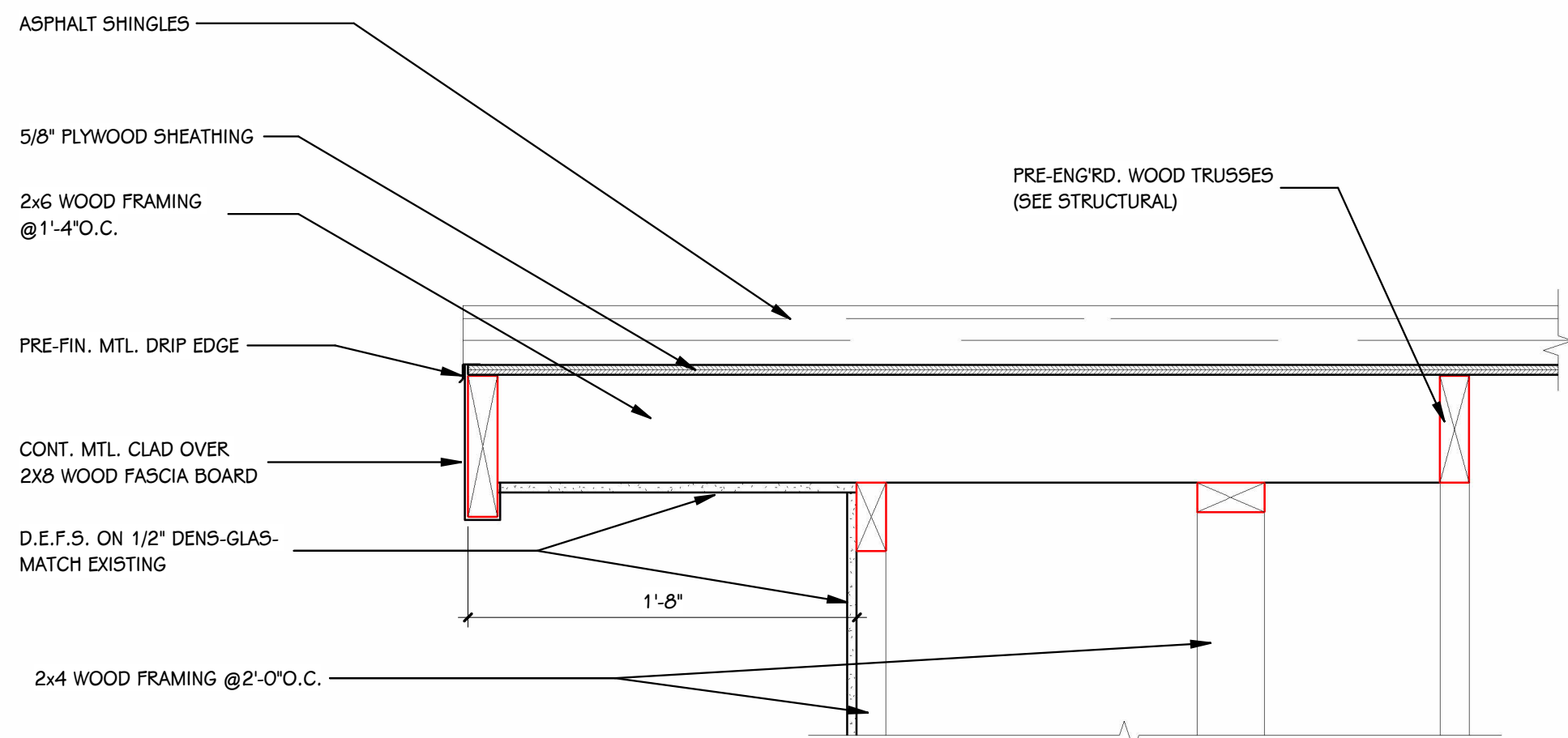


2 WALL SECTION
3/4" = 1'-0"

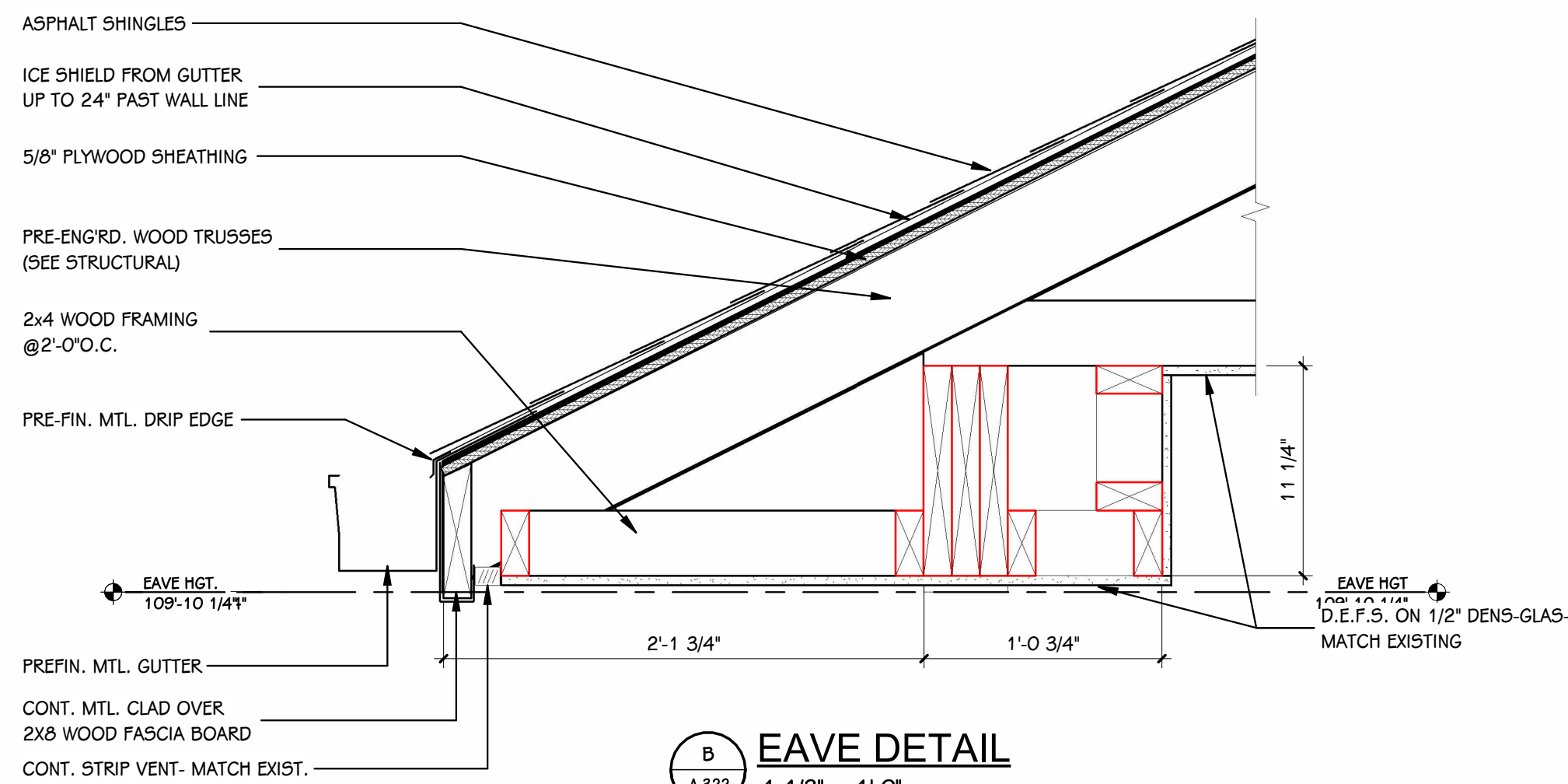


3 WALL SECTION
3/4" = 1'-0"

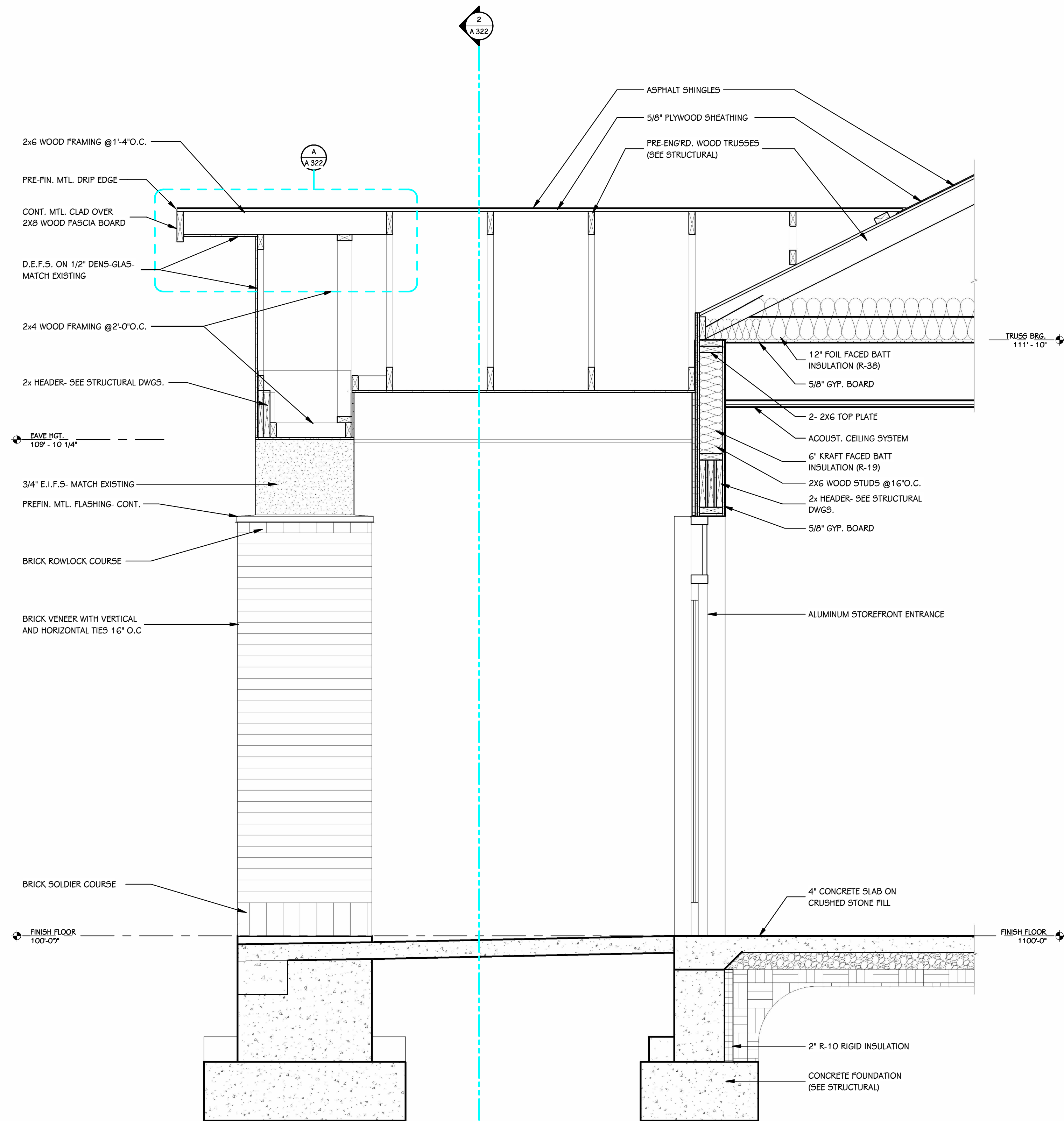
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AN ACCURATE DRAWING



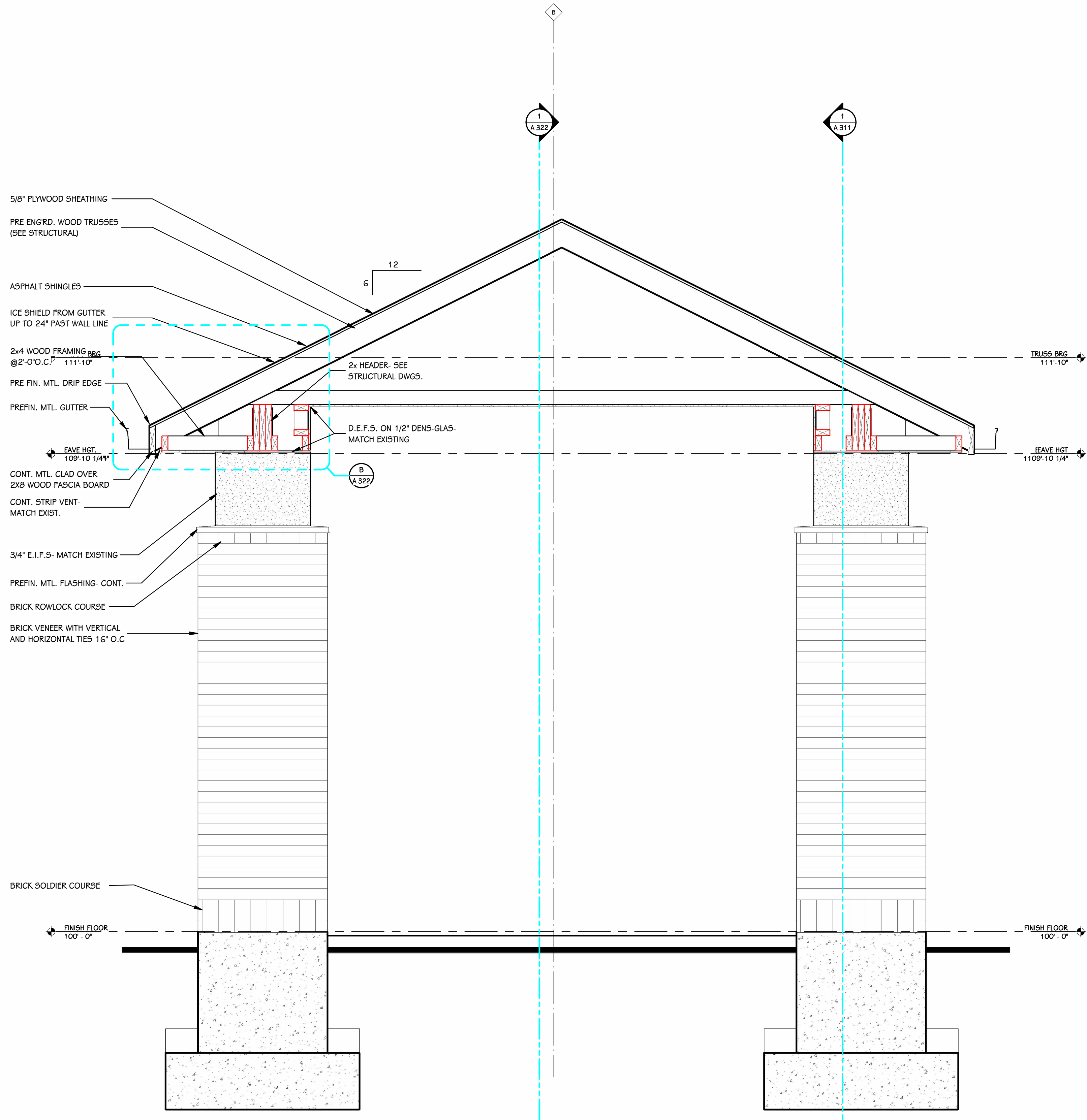
RAKE DETAIL
A 322 1 1/2" = 1'-0"



EAVE DETAIL
B 322 1 1/2" = 1'-0"



WALL SECTION
1 A 322 3/4" = 1'-0"



WALL SECTION
2 A 322 3/4" = 1'-0"

ISSUED FOR

DATE

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

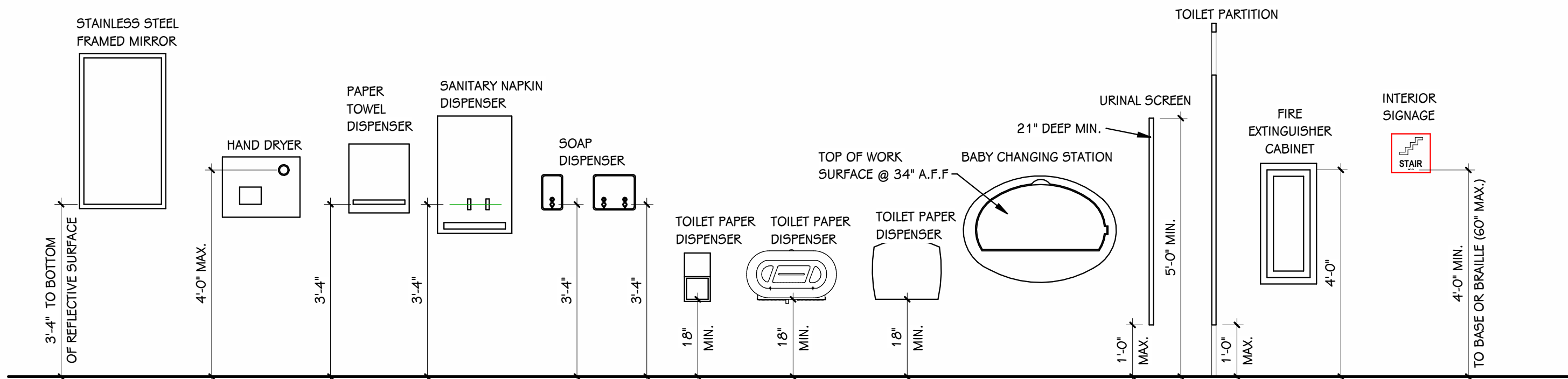
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WALL SECTIONS AND DETAILS

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Shepherdsville, KY

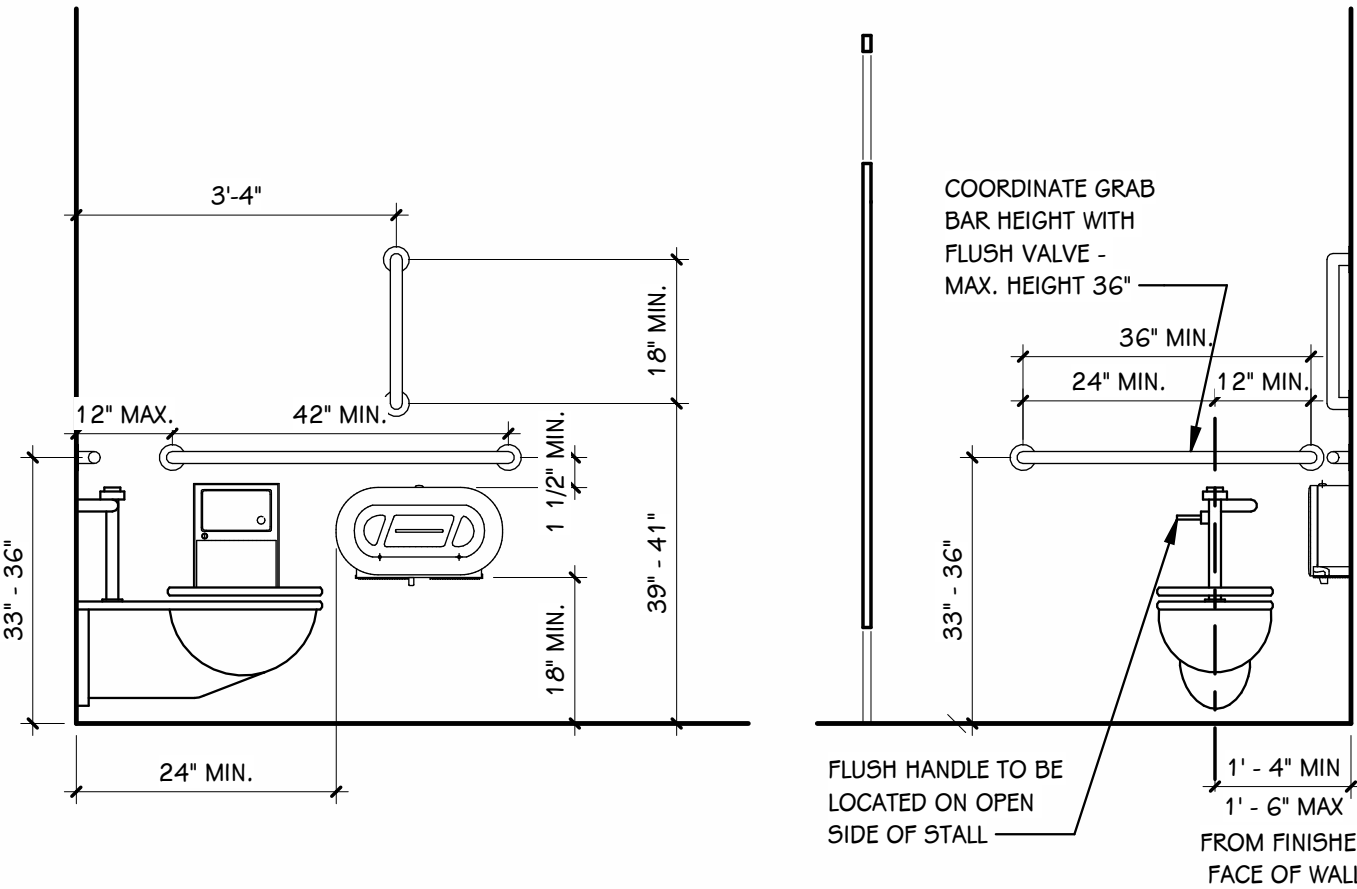
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A 322
25-376.000

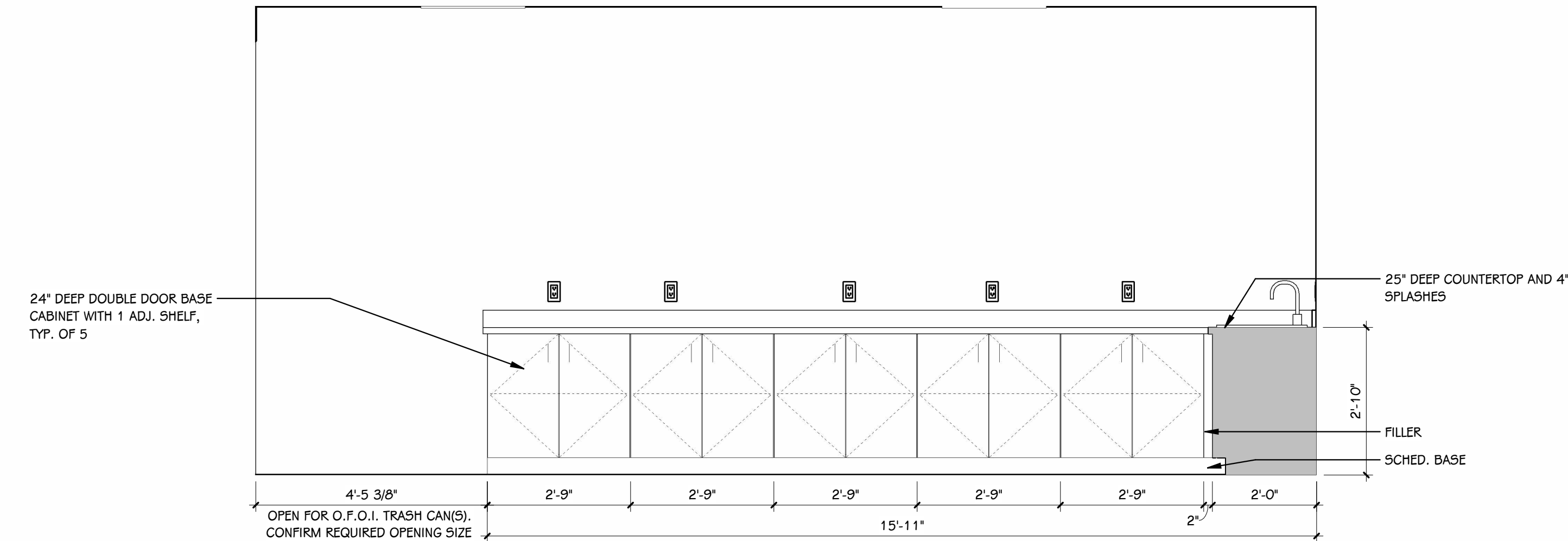




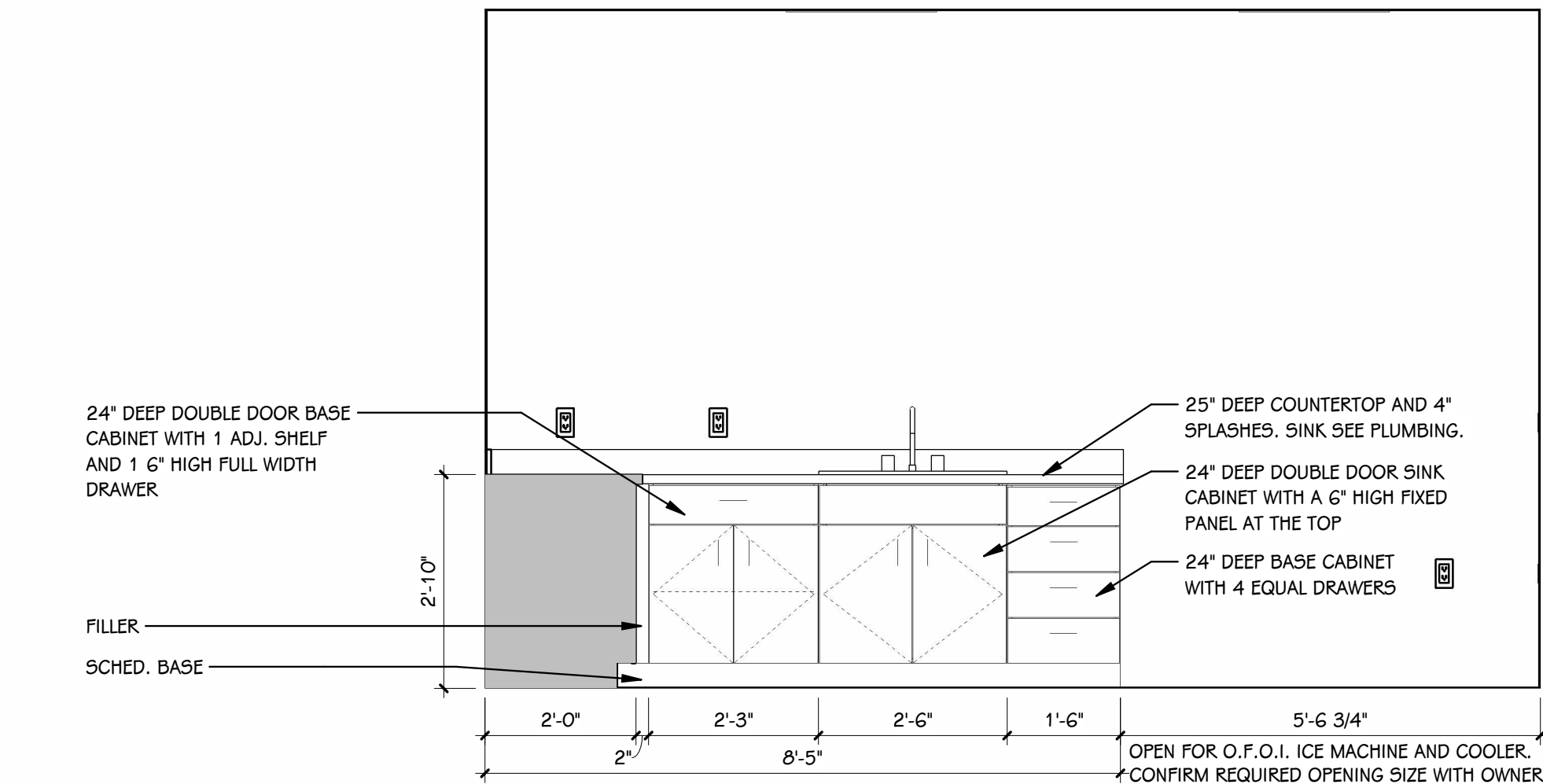
TYPICAL MOUNTING HEIGHTS
1/2" = 1'-0"



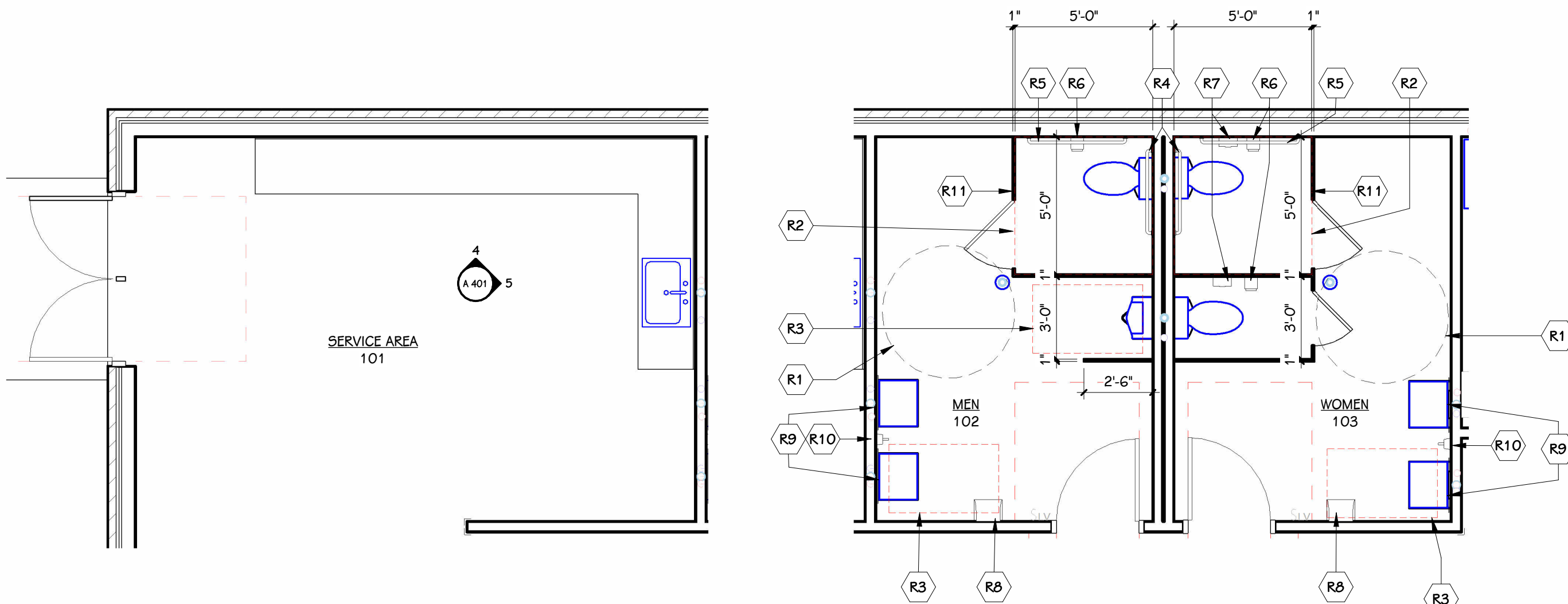
TYPICAL BARRIER-FREE MOUNTING HEIGHTS
1/2" = 1'-0"



4 SERVICE AREA 101- EAST ELEVATION
1/2" = 1'-0"



5 SERVICE AREA 101- SOUTH ELEVATION
1/2" = 1'-0"



2 ENLARGED RESTROOM PLAN
1/4" = 1'-0"

1 ENLARGED SERVICE AREA
1/4" = 1'-0"

RESTROOM KEYNOTES	
NOTES: REFER TO MOUNTING HEIGHT DETAILS ON SHEET PROVIDE WOOD BLOCKING FOR ALL WALL-HUNG ACCESSORIES	
R1 CLEAR FLOOR SPACE: 60" DIAMETER WHEELCHAIR TURNING SPACE	R8 PAPER TOWEL DISPENSER: OWNER FURNISHED; CONTRACTOR INSTALLED; SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA; COORDINATE WITH LAVATORY, MIRROR, AND SOAP DISPENSER
R2 CLEAR FLOOR SPACE: 56"x60" CLEAR FLOOR SPACE AT WATER CLOSET	R9 24" X 36" MIRROR: SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA MOUNT CENTERED ON LAVATORY
R3 CLEAR FLOOR SPACE: 30"x48" SPACE AT LAVATORY, SINK OR ELECTRIC WATER COOLER, URINAL	R10 SOAP DISPENSER: OWNER FURNISHED; CONTRACTOR INSTALLED; SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA; COORDINATE MOUNTING WITH LAVATORY, MIRROR, AND PAPER TOWEL DISPENSER
R4 REAR WALL GRAB BAR (36" HORIZ.): SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA	R11 TOILET PARTITIONS: 1" SOLID PANEL, PROVIDE LAYOUT SHOWN WITHIN THE ENTIRE ROOM WITH CLEAR DIMENSIONS AS INDICATED.
R5 SIDE WALL GRAB BAR (42" HORIZ. AND 18" VERT.): SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA	
R6 TOILET PAPER DISPENSER: OWNER FURNISHED; CONTRACTOR INSTALLED; SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA COORDINATE WITH GRAB BARS AND SANITARY NAPKIN DISPOSAL IF APPLICABLE	
R7 SANITARY NAPKIN DISPOSAL: SURFACE MOUNTED, MOUNT PER ICC/ANSI AND ADA COORDINATE WITH GRAB BARS AND TOILET PAPER DISPENSER;	

NOTES - TOILET ACCESSORY
1 OF = OWNER FURNISHED, OI = OWNER INSTALLED, CF= CONTRACTOR FURNISHED, CI = CONTRACTOR INSTALLED.
2 DIMENSIONS INDICATED ARE TYPICAL UNLESS NOTED OTHERWISE ON PLANS.
3 GENERIC PLUMBING FIXTURES ARE SHOWN. REFER TO PLUMBING DRAWINGS AND SPECIFICATIONS FOR FIXTURE TYPES, MANUFACTURERS AND MOUNTING HEIGHTS.
4 CODE REQUIRED INTERIOR SIGNAGE - INCLUDES MINIMUM REQUIRED SIGN TYPES REQUIRED FOR OCCUPANCY AS DICTATED BY IBC, IFC, AND NFPA. COORDINATE WITH ANY OWNER-PROVIDED SIGNAGE.

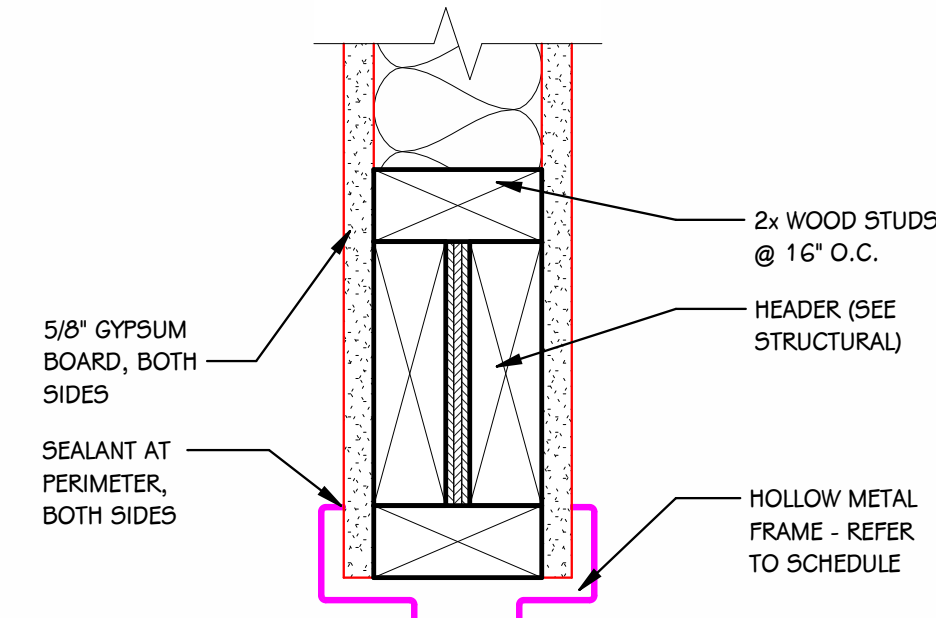
NOTES - INTERIOR ELEVATIONS
1 NOT ALL MATERIALS ARE ILLUSTRATED, REFER TO FINISH PLANS AND TYPICAL DETAILS FOR ADDITIONAL INFORMATION.

GENERAL NOTES - CASEWORK
1 VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO FABRICATION.
2 FILLER PANELS SHALL BE NO LESS THAN 2" WIDE, UNLESS NOTED OTHERWISE.
3 REFER TO FLOOR FINISH PLANS FOR CASEWORK AND COUNTERTOP FINISHES BY ROOM.
4 FINISH ANY EXPOSED END PANELS, UNDERSIDE OF CABINETS OR OPEN CABINETS, WITH PLASTIC LAMINATE SPECIFIED FOR FRONTS IN THAT ROOM.
5 ALL VERTICAL AND HORIZONTAL EXPOSED AND SEMI-EXPOSED SURFACES TO BE FINISHED WITH BODY PLASTIC LAMINATE.
6 PATTERN OR GRAIN DIRECTION TO BE VERTICAL ON DOORS AND HORIZONTAL ON DRAWERS - PER AIA STANDARDS, UNLESS NOTED OTHERWISE.
7 'SLABSMITHING' WILL BE REQUIRED IN INSTANCES WHERE A PATTERNED QUARTZ, NATURAL STONE, OR SOLID SURFACE IS SPECIFIED.

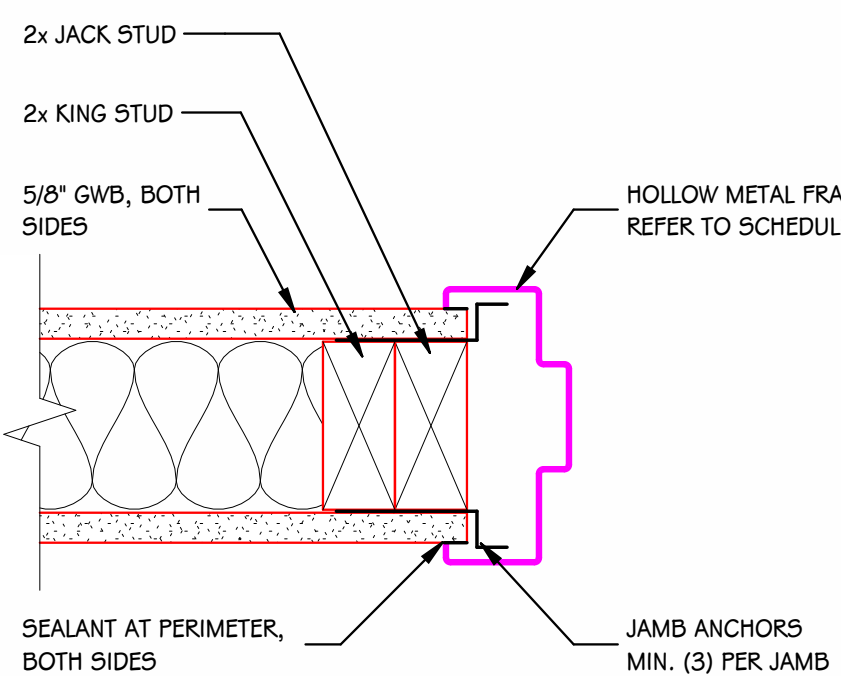
DOOR SCHEDULE																				
NUMBER		ROOM NAME	FIRE RATING		DOOR			SIZE		FRAME			DETAILS			GLASS	ACCESS CONTROLS		HDWR. SET	REMARKS
DOOR	ROOM		DOOR	FRAME	TYPE	MAT	FIN	WIDTH	HEIGHT	ELEV	MAT	FIN	HEAD	JAMB	SILL		CARD READER	ELEC. HDWR.		
100	100	MEETING ROOM	-	-	FG	AL	ANOD	6'-0"	7'-0"	-	AL	ANOD	4/A501	3/A501	-	-	Yes	Yes	1	-
101	101	SERVICE AREA	-	-	FG	AL	ANOD	6'-0"	7'-0"	-	AL	ANOD	4/A501	3/A501	-	-	Yes	Yes	1	-
102	102	MEN	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	2	-
103	103	WOMEN	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	2	-
104	104	MECHANICAL	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	3	-
105	105	SWAG ROOM	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	6/A501	7/A501	-	-	No	No	4	-
106A	106	CONFERENCE ROOM	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	7	-
106B	106	CONFERENCE ROOM	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	5	-
106C	106	CONFERENCE ROOM	-	-	F	WD	PREFIN	6'-0"	7'-0"	-	HM	P-2	6/A501	7/A501	-	-	No	No	6	-
107	107	STORAGE	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	6/A501	7/A501	-	-	No	No	5	-
110	110	STORAGE	-	-	F	WD	PREFIN	3'-0"	7'-0"	-	HM	P-2	1/A501	2/A501	-	-	No	No	-	RE-USE EXISTING HARDWARE

GENERAL NOTES - DOORS

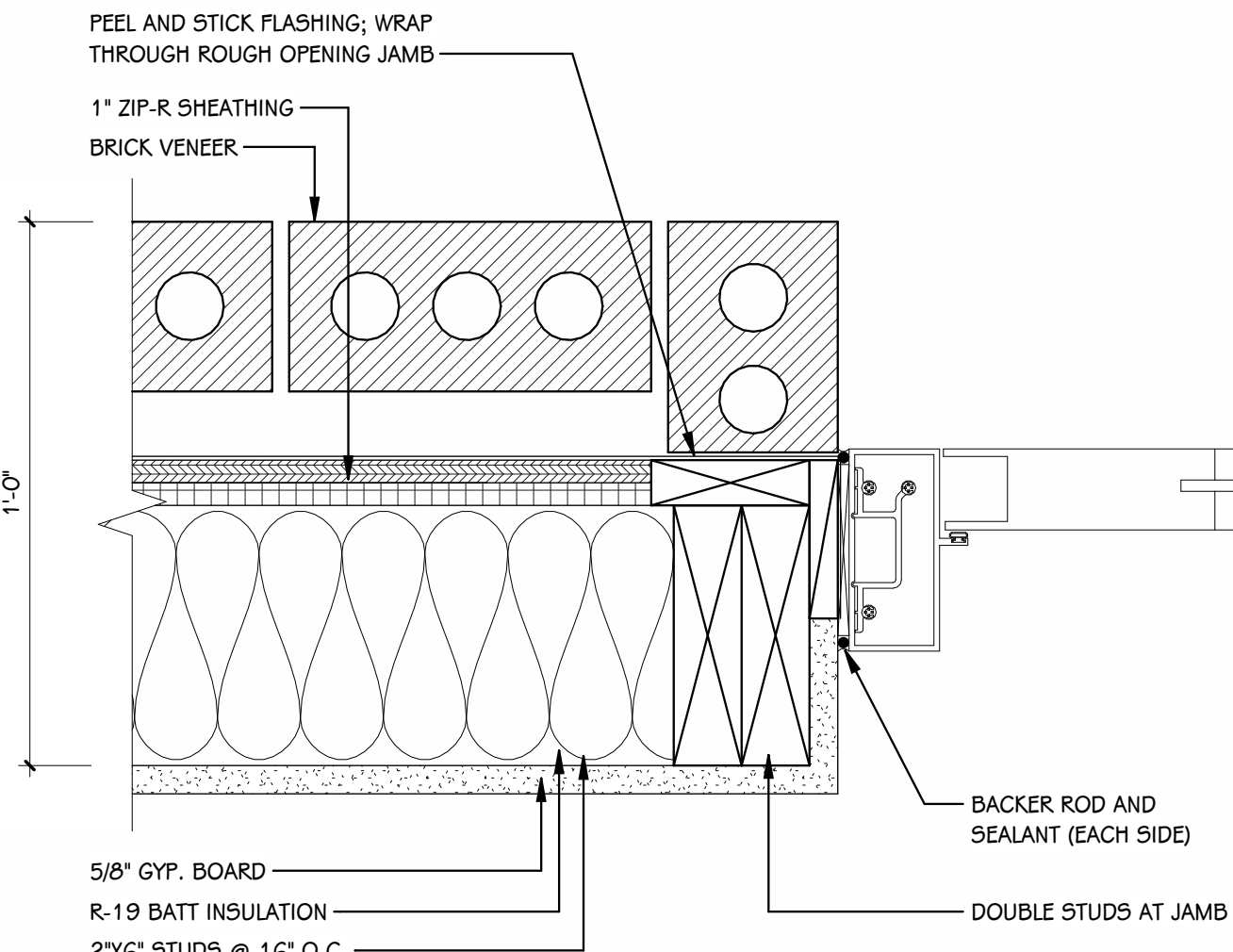
1. REFER TO A 500's SHEETS FOR ADDITIONAL ACCESS CONTROL INFORMATION NOT NOTED ON THIS SHEET.



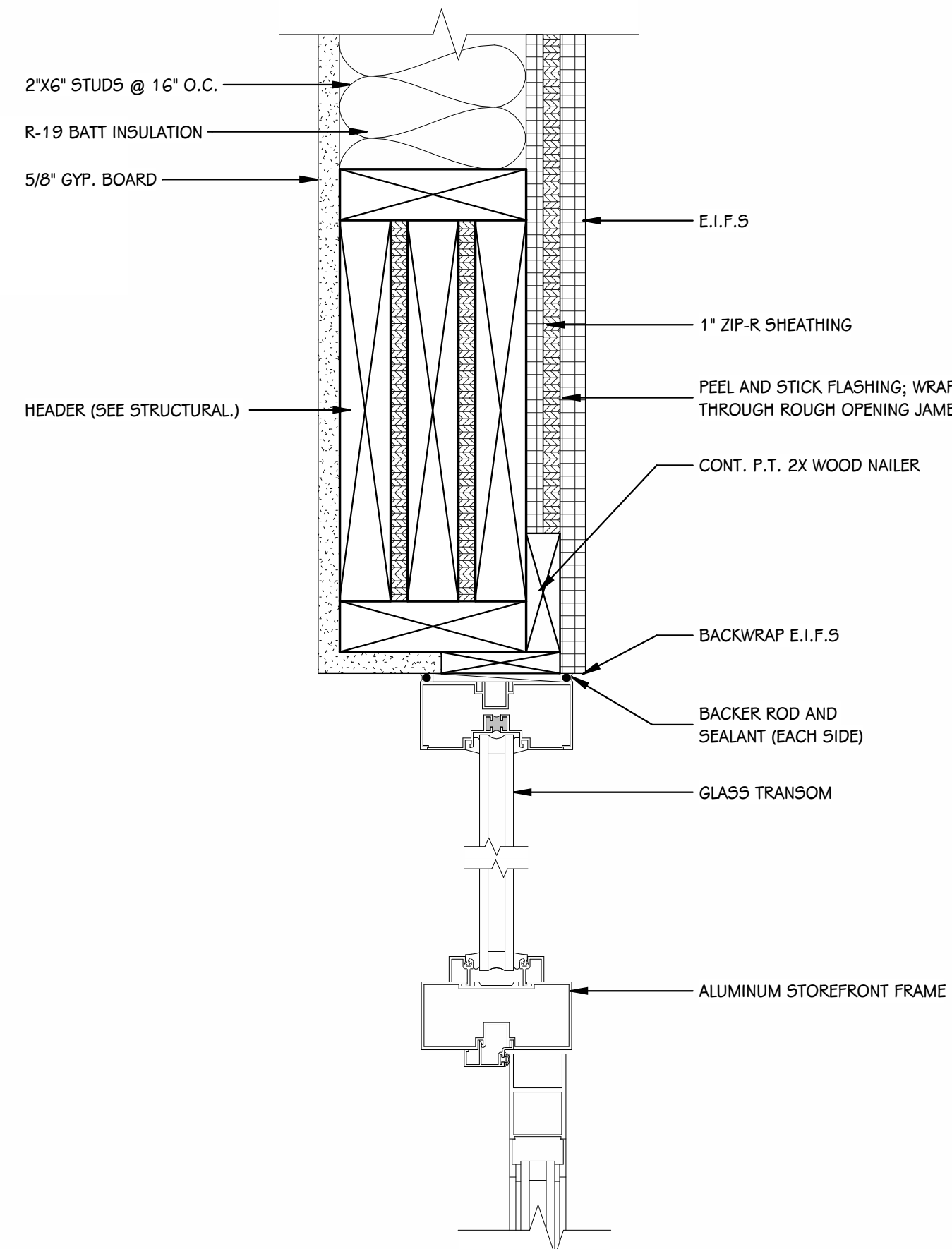
1 HEAD DETAIL
3" = 1'-0"



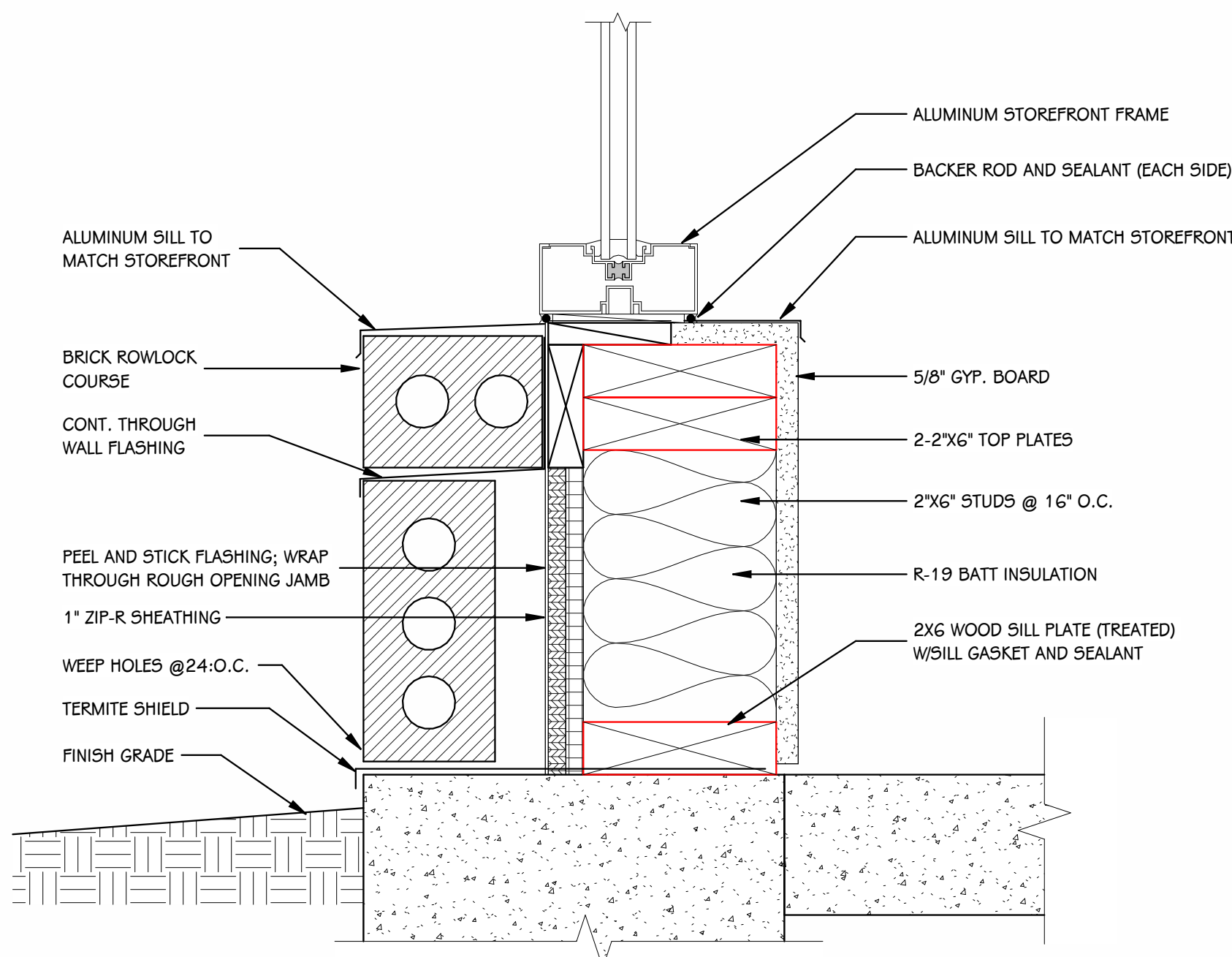
2 JAMB DETAIL
3" = 1'-0"



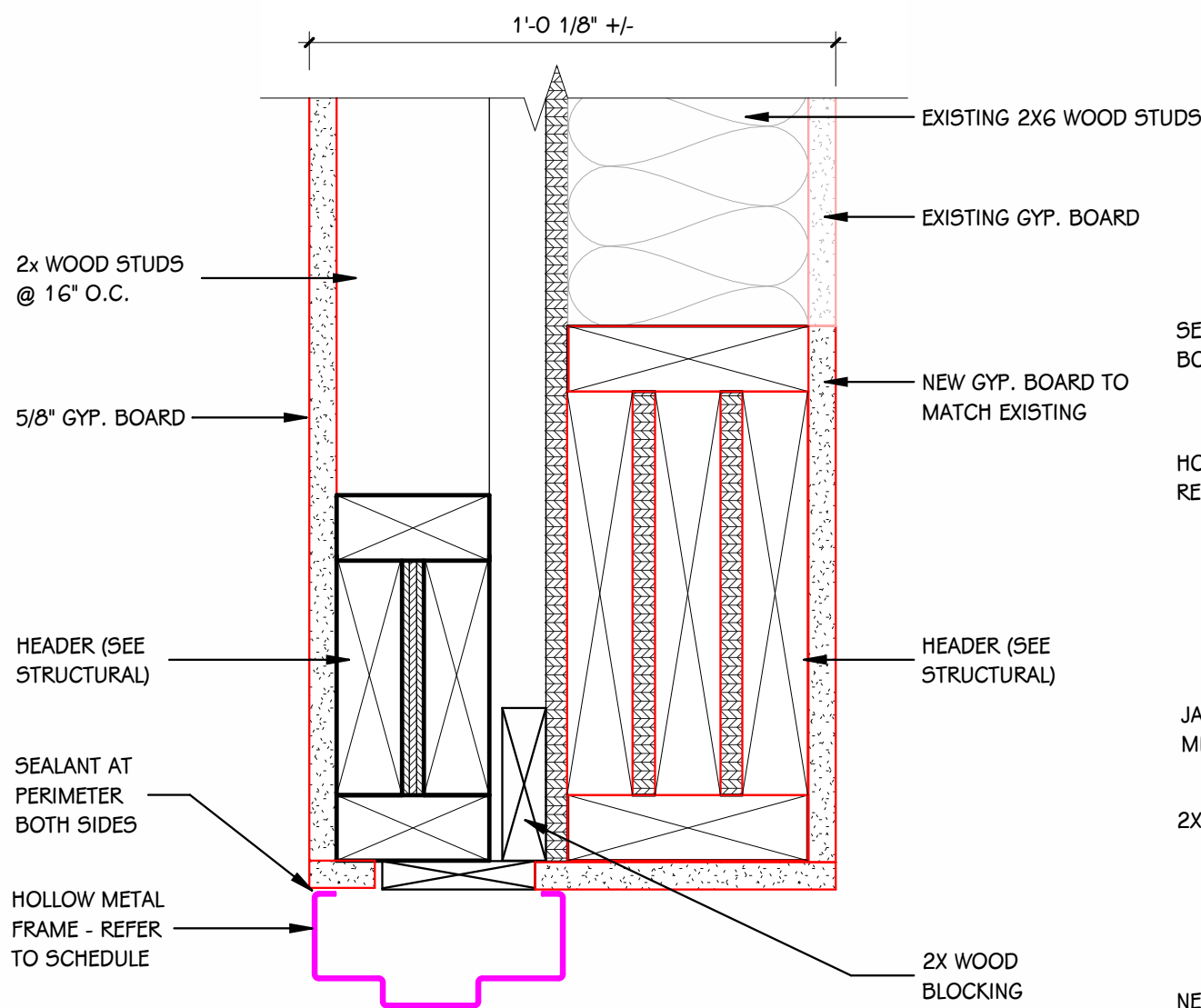
3 ALUM. S.F. DOOR- JAMB DETAIL- BRICK
3" = 1'-0"



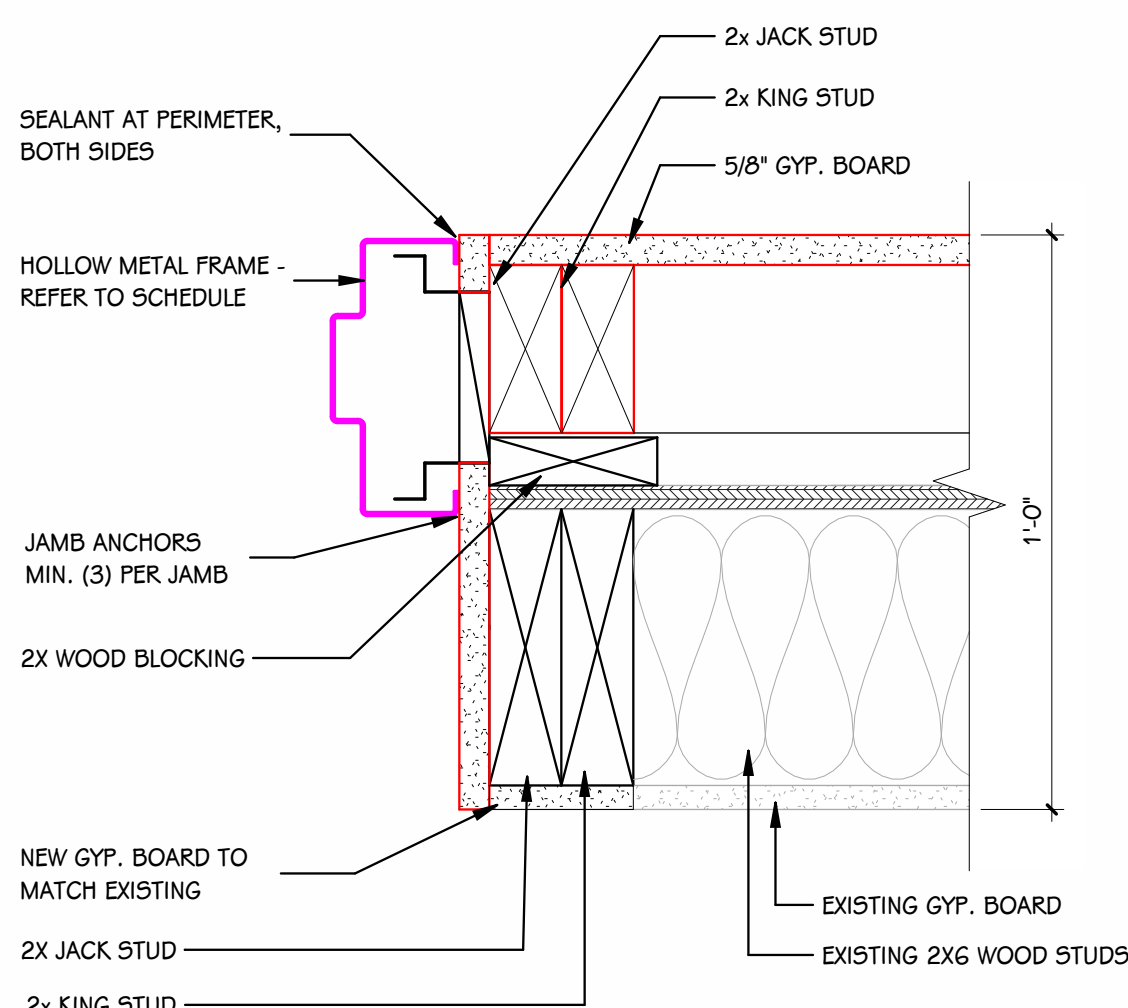
4 ALUM. S.F. DOOR- HEAD DETAIL- E.I.F.S
3" = 1'-0"



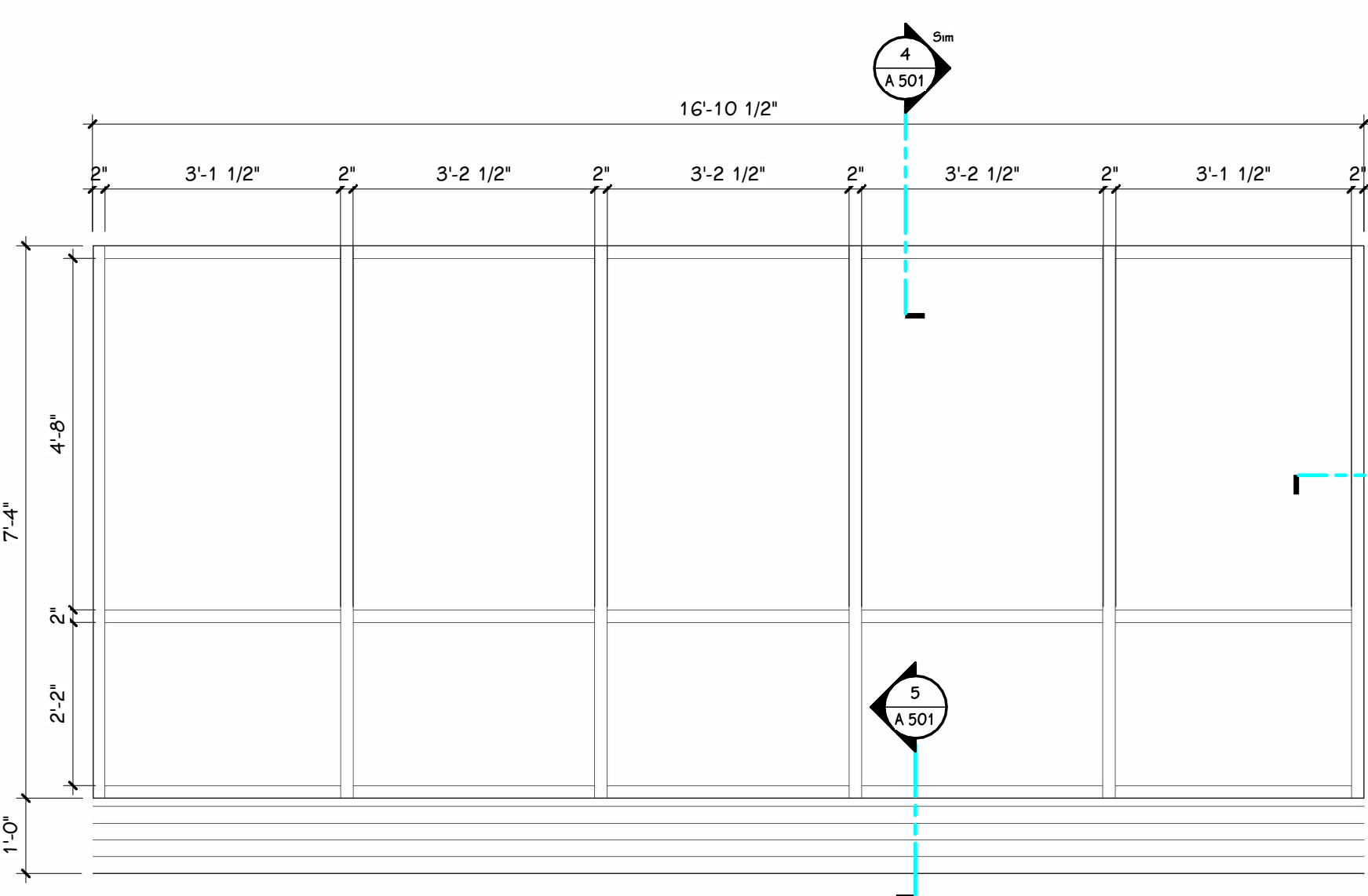
5 ALUM. S.F. - SILL DETAIL- BRICK
3" = 1'-0"



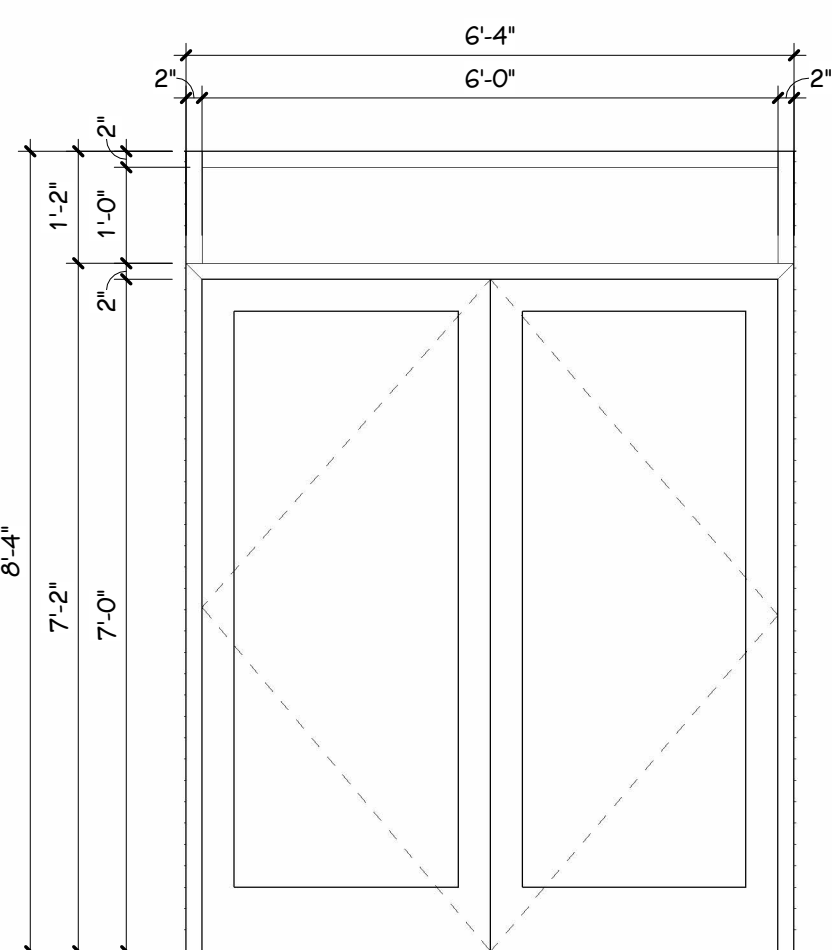
6 HEAD DETAIL
3" = 1'-0"



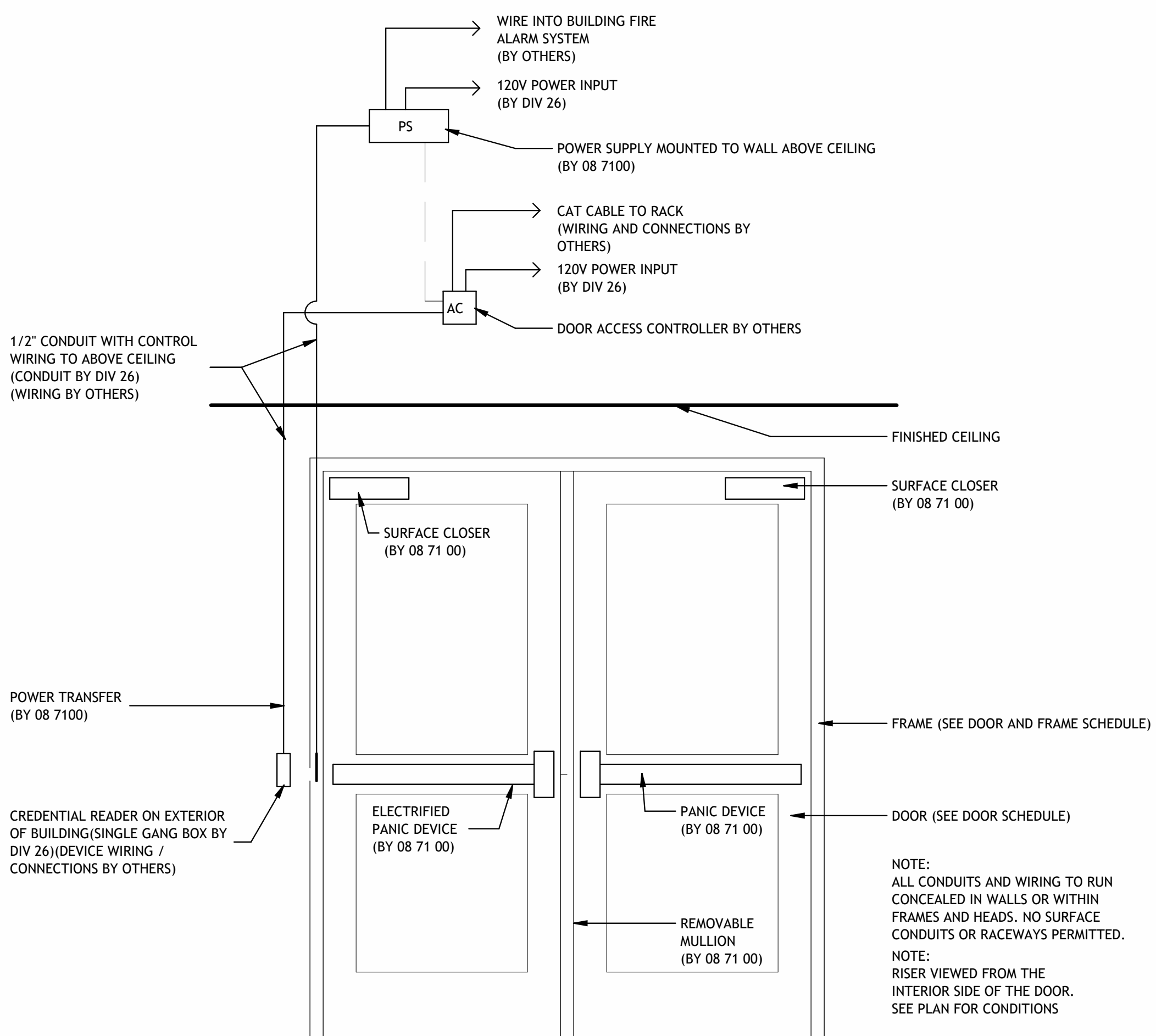
7 JAMB DETAIL
3" = 1'-0"



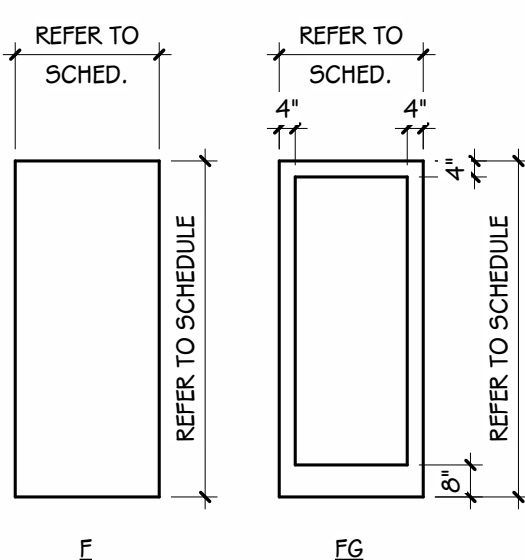
8 MEETING ROOM STOREFRONT
1/2" = 1'-0"



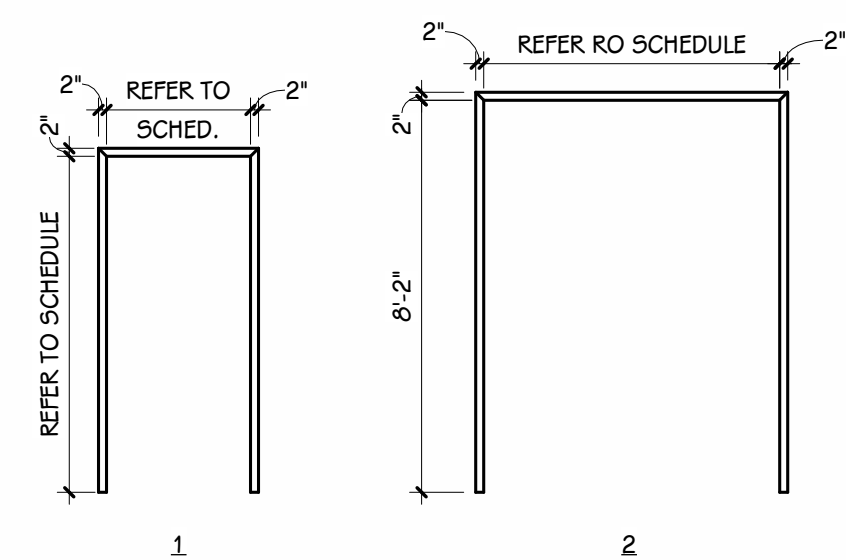
9 MAIN ENTRANCE STOREFRONT
1/2" = 1'-0"



10 DOOR ACCESS RISER DIAGRAM
3/4" = 1'-0"



DOOR PANEL ELEVATIONS
SCALE: NONE



FRAME ELEVATIONS
SCALE: NONE

ISSUED FOR

DATE

PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
DOOR SCHEDULES

DATE
JANUARY 9, 2026

SHEET NUMBER
A 501
25-376.000

TowerPinkster

Architecture · Engineering · Interiors

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<p>ADJ ADJUSTABLE</p> <p>AF ABOVE FINISHED FLOOR</p> <p>BF BARRIER FREE</p> <p>CB COMBO BOARD</p> <p>CC CHARGING CART</p> <p>CG CORNER GUARD</p> <p>CL CENTER LINE</p> <p>CLR CLEAR OPENING</p> <p>CT COUNTERTOP PRINTER</p> <p>D DRYER</p> <p>DR DRAPERY</p> <p>DW DISHWASHER</p> <p>EX EXISTING</p> <p>FP FILLER PANEL</p> <p>GB GLASS BOARD</p> <p>HB HORIZONTAL BLIND</p> <p>HOLD HOLD DIMENSION</p> <p>IM ICE MACHINE</p> <p>KLN KILN</p> <p>LAM LAMINATOR</p> <p>MB MARKER BOARD</p> <p>MFP MULTIFUNCTION PRINTER</p> <p>MIN MINIMUM CODE ALLOWABLE DIMENSION</p> <p>MW MICROWAVE</p> <p>OC ON CENTER</p> <p>OFE OWNER FURNISHED EQUIPMENT</p> <p>OPP OPPOSITE</p> <p>PDO FULL OUT DRAWER</p> <p>PA P.A. SYSTEM</p> <p>PM POSTAGE MACHINE</p> <p>REF REFRIGERATOR</p> <p>RF REMOVABLE PANEL</p> <p>RS ROLLER SHADE</p> <p>SCN SCAN</p> <p>SF SAFE</p> <p>SH SHREDDER</p> <p>SIM SIMILAR</p> <p>TB TACK BOARD</p> <p>TYP TYPICAL</p> <p>UC UNDER COUNTER REFRIGERATOR</p> <p>UNLESS OTHERWISE NOTED</p> <p>VIF VERIFY IN FIELD</p> <p>VLB VERTICAL LOUVER BLIND</p> <p>W WASHER</p> <p>WD WASHER/DRYER STACKED</p>	<p>INTERIOR - TYPICAL SYMBOLS AND REFERENCES</p> <p>INFORMATION</p> <p>INDICATES MATERIAL TYPE</p> <p>INDICATES CORRESPONDING SELECTION IN MATERIAL SELECTION SCHEDULE</p> <p>INDICATES WALL FINISH</p> <p>INDICATES BASE FINISH</p> <p>INDICATES FLOOR FINISH</p> <p>WHERE HEIGHTS ARE NOT INDICATED REFER TO TYPICAL DETAIL OR ELEVATION</p> <p>ABOVE O - O' A.T.F.I.</p> <p>UP TO O - O' A.T.F.I.</p> <p>INDICATES UPPER WALL FINISH</p> <p>INDICATES LOWER WALL FINISH</p> <p>INDICATES BASE FINISH</p> <p>INDICATES FLOOR FINISH</p> <p>INDICATES COUNTERTOP FINISH</p> <p>INDICATES CABINET FINISH (BASE AND UPPER)</p> <p>INDICATES EXTENT OF ATYPICAL FINISH (WALL, BASE, OR FLOOR)</p> <p>INDICATES DISSIMILAR FLOOR MATERIAL FINISHES, REFER TO TYPICAL FLOOR TRANSITION DETAILS</p> <p>INDICATES MULTIPLE MATERIALS, REFER TO ENLARGED PLANS OR ELEVATIONS</p> <p>INDICATES PATTERNED INSTALLATION OF A SINGLE MATERIAL TYPE, REFER TO DETAIL OR ELEVATION</p> <p>INDICATES PATTERN INTENT, REFER TO DETAIL OR ELEVATION</p> <p>INDICATES VISUAL DISPLAY BOARD, REFER TO VISUAL DISPLAY BOARD SCHEDULES</p> <p>INDICATES CORNER GUARD, REFER TO MATERIAL SELECTION SCHEDULE</p> <p>INDICATES WINDOW TREATMENT, REFER TO WINDOW TREATMENT SCHEDULE</p> <p>INDICATES INSTALLATION OF GRAIN</p>
	<p>GENERAL NOTES - INTERIOR - FINISH</p> <p>REFER TO MATERIAL SELECTION SCHEDULE FOR FINISH INFORMATION.</p> <p>REFER TO ARCHITECTURAL FLOOR PLANS AND SPECIFICATION FOR ADDITIONAL INFORMATION ON CONSTRUCTION MATERIALS.</p> <p>REFER TO ARCHITECTURAL GENERAL SHEETS FOR BARRIER-FREE MOUNTING HEIGHT REQUIREMENTS AND CODE REQUIRED SIGNAGE.</p> <p>REFER TO ARCHITECTURAL ENLARGED TOILET ROOM PLANS FOR TOILET ACCESSORIES, PARTITIONS, ETC.</p> <p>REFER TO REFLECTED CEILING PLANS FOR CEILING FINISH AND HEIGHTS.</p> <p>WALL MOUNTED DIFFUSERS, GRILLES, ACCESS PANELS, ELECTRICAL PANELS, ETC. ARE TO BE PAINTED TO MATCH THE ADJACENT WALL FINISH.</p> <p>CEILING ACCESS PANELS ARE TO BE PAINTED TO MATCH ADJACENT CEILING FINISH.</p> <p>REFER TO DOOR SCHEDULE FOR FINISH ON DOORS AND FRAMES.</p> <p>REFER TO INTERIOR ELEVATION SHEETS FOR REQUIREMENTS, GENERAL NOTES, ABBREVIATIONS, AND HARDWARE/ACCESSORY SELECTIONS FOR CASEWORK.</p> <p>ALL FLOOR SUPPORTED STORAGE RACKS, CABINETS, BOOKCASES, ETC. WHEN ADJACENT TO THE WALL SHALL BE FASTENED TO BOTH THE FLOOR AND WALL.</p> <p>PROVIDE BLOCKING AS REQUIRED FOR ATTACHMENT OF CASEWORK, MILLWORK, SHELVING, EQUIPMENT, SPECIALTY FINISHES, ETC.</p> <p>DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. FOR CONDITIONS NOT SHOWN USE DETAILS CLOSEST TO CONDITION IN QUESTION.</p> <p>CONTRACTOR IS RESPONSIBLE TO PROVIDE A SMOOTH AND LEVEL TRANSITION BETWEEN DIFFERING FLOOR FINISHES. CONTRACTOR TO PROVIDE TRANSITION STRIP BETWEEN ALL DISSIMILAR FLOORING MATERIALS. SEE SPECIFICATIONS FOR FLOORING TRANSITION STRIPS.</p> <p>ALL NOTATIONS ARE INTENDED TO INDICATE FINISHES FOR ENTIRE AREA OF ITEM AND ALL EXPOSED SURFACES, INCLUDING WALL-TO-WALL, FLOOR-TO-CEILING, ENTIRE LENGTH OF SURFACE, ALL SIDES, ALL EDGES, AND ALL ASSOCIATED COMPONENTS, UNLESS OTHERWISE NOTED.</p>
	<p>THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING</p>

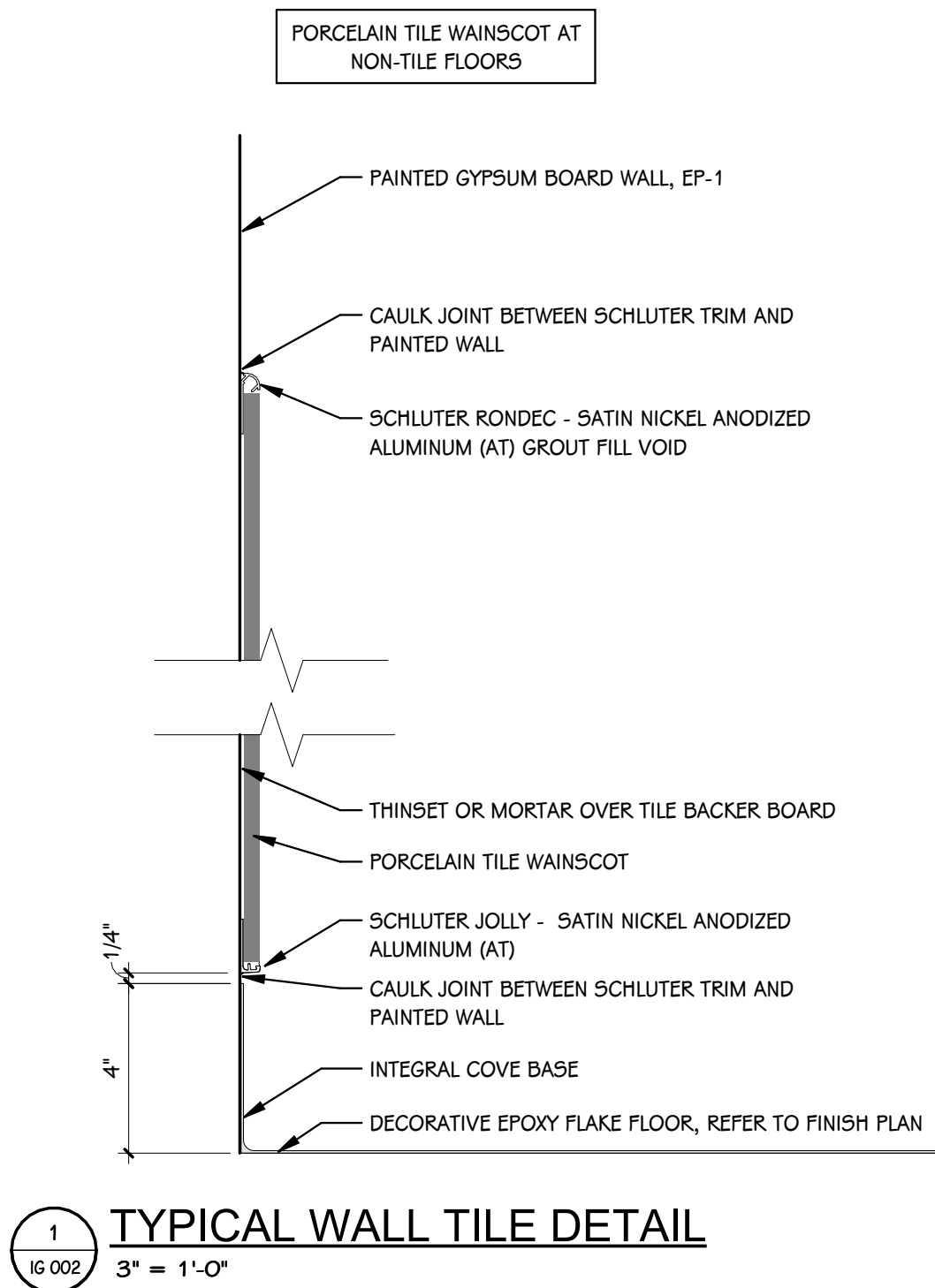
MATERIAL SELECTION SCHEDULE

ABBREV	ITEM	MANUFACTURER	PATTERN	COLOR	PRODUCT NO.	SIZE	SINGLE SOURCE	BASIS OF DESIGN	ADDITIONAL MANUFACTURERS	PERFORMANCE	REMARKS
ACP-1	ACOUSTIC CEILING PANEL	ARMSTRONG	ULTIMA	WHITE	1912	24" X 24" X 3/4"	X		--		9/16" SUSPENSION SYSTEM
CG-1	CORNER GUARD										SEE SPECIFICATION SECTION 10 26 13
CPTL-1	CARPET TILE										MATERIAL ALLOWANCE: \$30 SY. ALLOWANCE DOES NOT INCLUDE FREIGHT OR INSTALLATION
DEF-1	DECORATIVE EPOXY FLAKE										SEE SPECIFICATION SECTION 09 67 16: FULL BROADCAST.
EP-1	EPOXY PAINT	SHERWIN WILLIAMS	--	PURE WHITE	5W7005	--	X				RESTROOM FELD PAINT
FRP-1	FIBER REINFORCED PLASTIC		TO BE SELECTED BY ARCHITECT	TO BE SELECTED BY ARCHITECT							SEE SPECIFICATION SECTION 10 2623.16: PROVIDE ALL TRIM AND ACCESSORIES REQUIRED FOR COMPLETE INSTALLATION.
ICB-1	INTEGRAL COVE BASE					4" H					MATCH FLOOR.
NB	NO BASE										WALL FINISH EXTENDS TO THE FLOOR. NO SEPARATE WALL BASE REQUIRED.
P-1	PAINT	SHERWIN WILLIAMS	--	PURE WHITE	5W7005	--	X		--		FIELD PAINT
P-2	PAINT	SHERWIN WILLIAMS	--	NETWORK GRAY	5W7073	--	X				DOOR FRAME PAINT
PL-1	PLASTIC LAMINATE	WILSONART	--	TO BE SELECTED BY ARCHITECT	--	--		X	FORMICA		--
PT-1	PORCELAIN TILE										MATERIAL ALLOWANCE: \$4. ALLOWANCE DOES NOT INCLUDE FREIGHT, INSTALLATION, OR SETTING MATERIALS AND GROUT. LARGE SCALE 12" X 24" OR LARGER. INSTALL SCHLUTER TRIM AT TOP COURSE OF WALL TILE AND AT ALL OUTSIDE CORNERS. GROUT COLOR TO BE SELECTED BY ARCHITECT.
RB-1	RUBBER BASE	TARKETT JOHNSONITE	DURA-COVE	PEPPERCORN	TB1	4" H			--		--
SC-1	SEALED CONCRETE	SONNEBORN	KURE-N-SEAL	CLEAR							(1) ADDITIONAL COAT BEYOND THAT SPECIFIED. (SEE SPECIFICATION SECTION 03 3000) FOLLOWING CLEANING 4 PRIOR TO FINAL INSPECTION.
SQM-1	SOLID SURFACE MATERIAL	CORIAN	--	TO BE SELECTED BY ARCHITECT							PRICE GRADE 2

- NOTES:
- NO COMPARABLE PRODUCTS WILL BE REVIEWED FOR PRODUCTS DESIGNATED AS SINGLE SOURCE
 - COMPARABLE PRODUCTS WILL BE REVIEWED FOR ITEMS LISTED AS BASIS OF DESIGN. COMPARABLE PRODUCTS ARE REQUIRED TO MEET ANY MINIMUM PERFORMANCE REQUIREMENTS LISTED IN REMARKS AND DESIGN ATTRIBUTES OF SPECIFIED PRODUCT.
 - REFER TO TYPICAL DETAILS AND PRODUCT SPECIFICATION FOR ADDITIONAL TRIMS AND ACCESSORIES ASSOCIATED WITH SPECIFIED PRODUCTS ABOVE

WINDOW TREATMENT SCHEDULE

MARK	TYPE	OPERATION	MOUNTING	SHADECLOTH(S)	FINISHES	ACCESSORIES	REMARKS
RS-1	SINGLE	MOTORIZED	HEAD TO SILL AND JAMB TO JAMB	BLACKOUT	TO BE SELECTED FROM MANUFACTURER'S FULL RANGE	FASCIA, BEAD CHAIN RETENTION-CLIP	EXTEND BEAD CHAIN AS REQUIRED FOR ACCESS BY USER
NOTES: 1 REFER TO SPECIFICATION FOR MORE INFORMATION. 2 WINDOW TREATMENT TAGS SHOWN ON PLAN REPRESENTS A SINGLE SHADE. 3 REFER TO FLOOR PLANS, EXTERIOR ELEVATIONS AND FRAME TYPES FOR HEIGHT AND WIDTH OF OPENINGS. 4 WINDOW TREATMENTS ARE TO BE MOUNTED INSIDE OF THE WINDOW OPENING FROM HEAD TO SILL AND JAMB TO JAMB, UNLESS NOTED OTHERWISE. 5 VERIFY ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION.							



TYPICAL WALL TILE DETAIL

ISSUED FOR DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727
BUILDING ADDITION

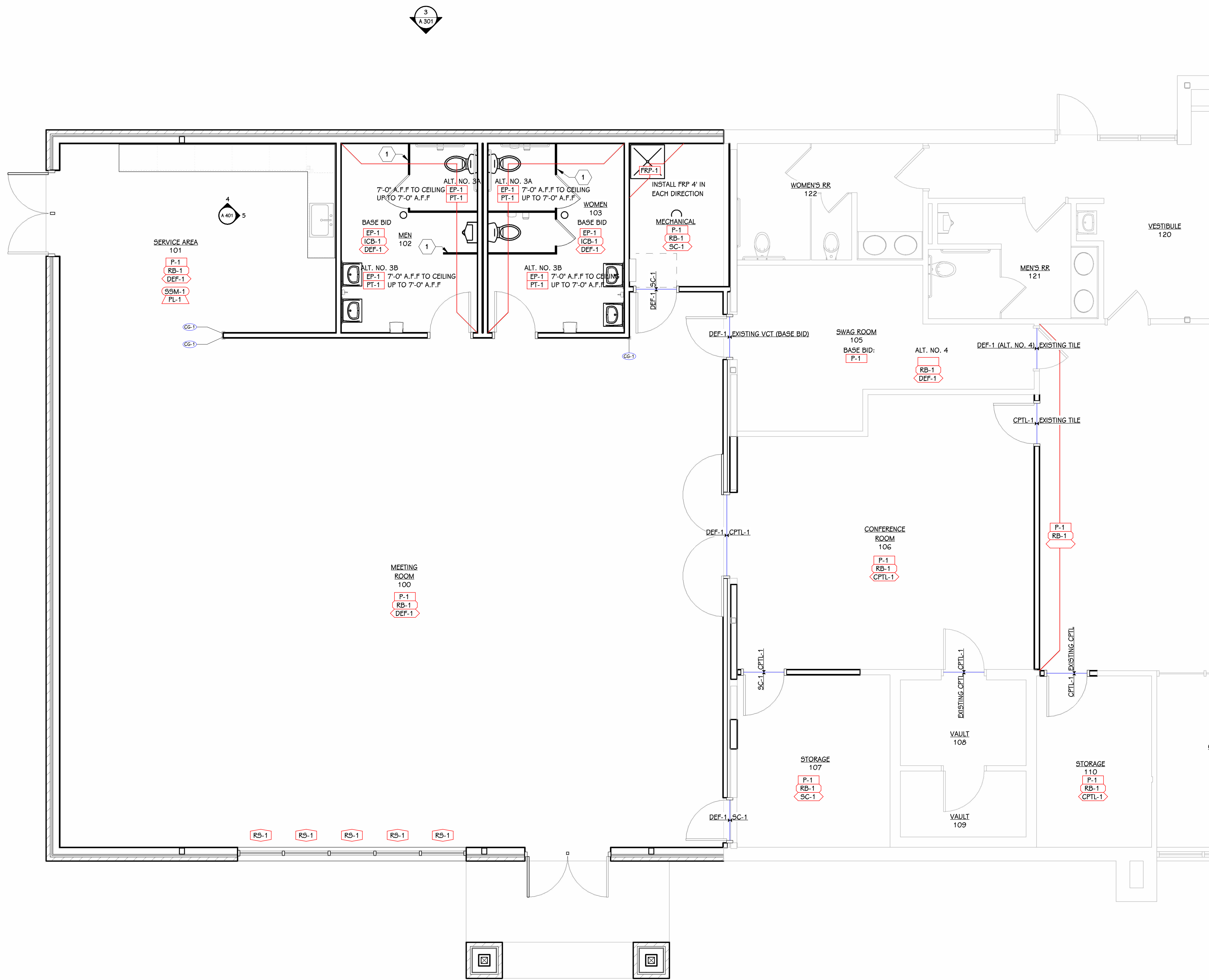
OWNER
TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE
MATERIAL SELECTION SCHEDULE &
WINDOW TREATMENT SCHEDULE

DATE
JANUARY 9, 2026

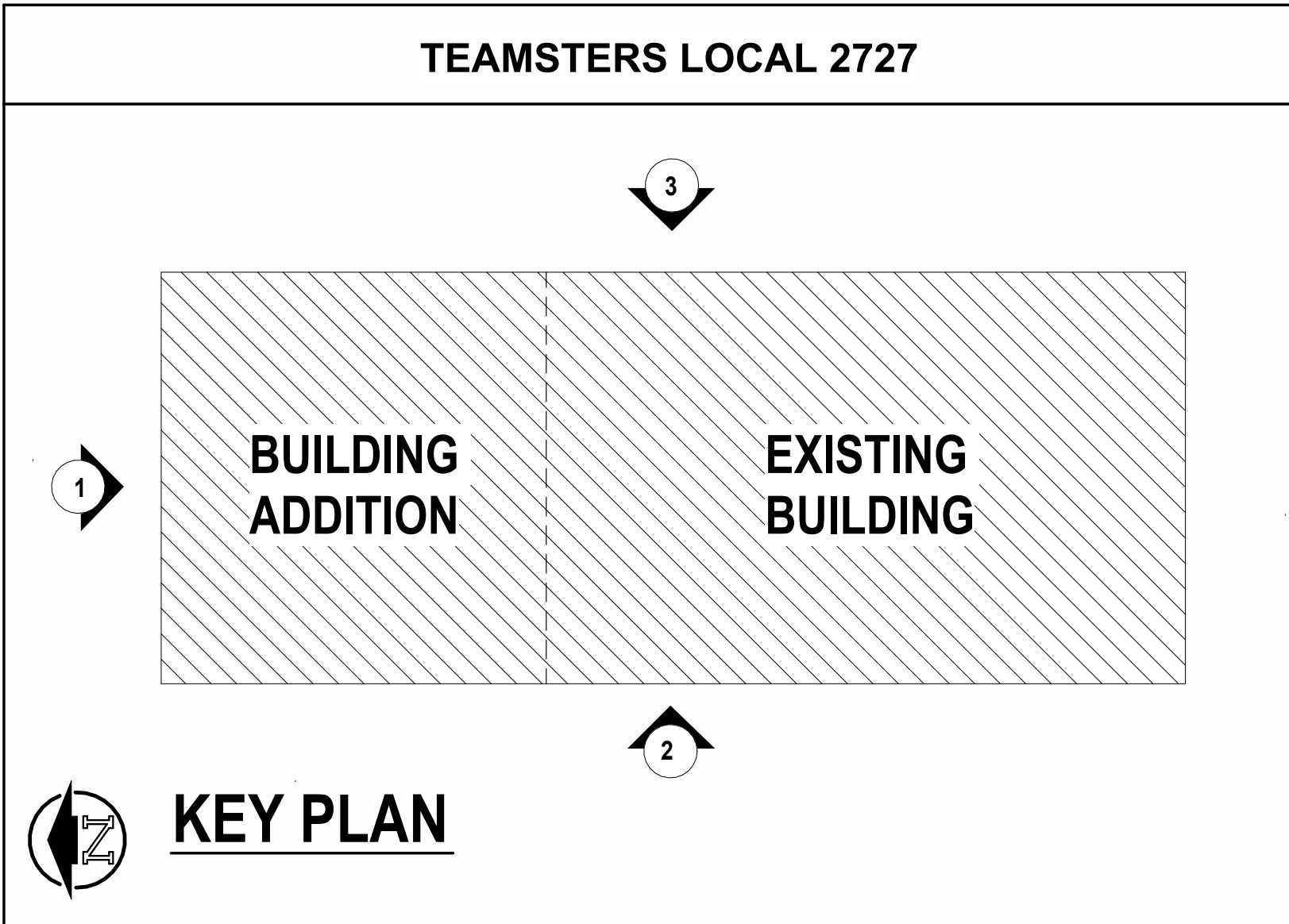
SHEET NUMBER
IG 002
25-376.000



FINISH PLAN - ADDITION
1/4" = 1'-0"

NOTES - FINISH PLANS	
1	FINISH TAGS APPLY TO LIKE MATERIALS IN ENTIRE ROOM. I.E. CASEWORK TAG MAY ONLY CALLOUT ONE RUN OF CASEWORK, BUT ALL CASEWORK IN ROOM RECEIVE THE SAME FINISHES, UNLESS TAGGED DIFFERENTLY.
2	WHERE NO FINISH TAG IS SHOWN ALL EXISTING FINISHES ARE TO REMAIN, UNLESS OTHERWISE NOTED.

KEYED NOTES - INTERIOR - FINISH PLAN	
1	METAL TOILET PARTITIONS AND/OR URINAL SCREEN. SEE SPECIFICATION SECTION 10 21 13.13



THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

ISSUED FOR

DATE

PROJECT TITLE

TEAMSTERS LOCAL 2727 BUILDING ADDITION

OWNER

TEAMSTERS LOCAL 2727

4810 N Preston Hwy
Shepherdsville, KY

SHEET TITLE

FINISH PLAN - ADDITION

DATE

JANUARY 9, 2026

SHEET NUMBER

101

25-376.000

HEATHER D. GRANNING

REGISTERED ARCHITECT

NO. 8728

COMMONWEALTH OF KENTUCKY

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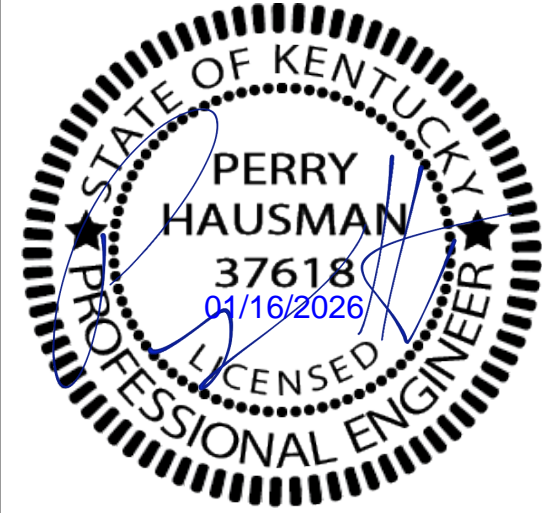
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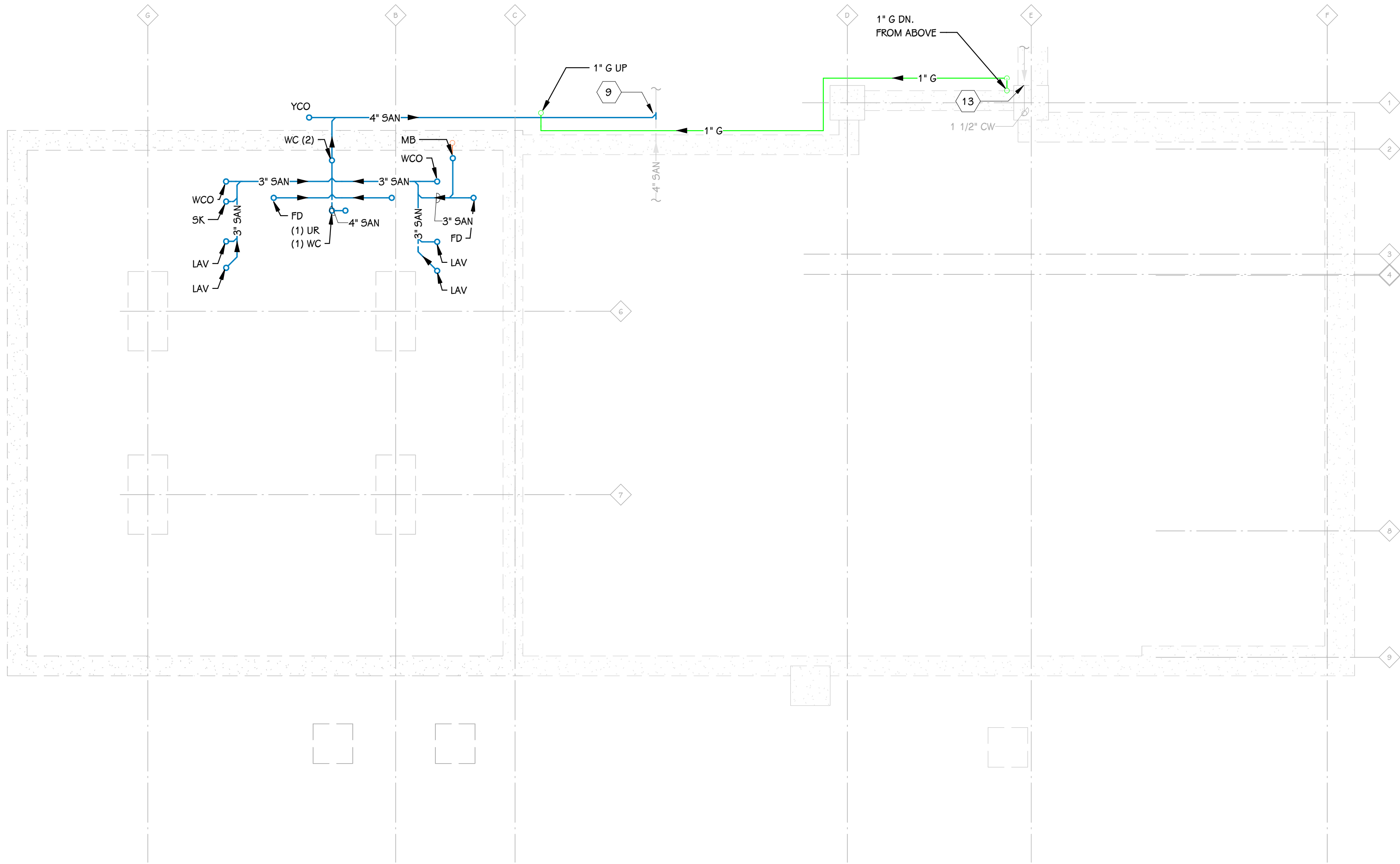
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ABBREVIATIONS		MECHANICAL SYMBOLS		GENERAL NOTES - MECHANICAL - NEW CONSTRUCTION	
A.C.D. AUTOMATIC CONTROL DAMPER A.F.F. ABOVE FINISHED FLOOR A.G. ABOVE GRADE A.P.D. AIR PRESSURE DROP B.D. BALANCING DAMPER B.D.D. BACKDRAFT DAMPER B.F. BARRIER FREE BTUH BRITISH THERMAL UNIT PER HOUR B.V. BALANCING VALVE C.B. CATCH BASIN C.B.V. CALIBRATED BALANCING VALVE C.F.H. CUBIC FEET PER HOUR C.F.M. CUBIC FEET PER MINUTE C.H. CABINET HEATER C.I. CAST IRON C.M. CEILING MOUNTED C.O. CLEAN OUT C.V. CONTROL VALVE C.W. COLD WATER (DOMESTIC) D.F. DRINKING FOUNTAIN DN. DOWN D.S. DOWN SPOUT E.A. EXHAUST AIR E.A.T. ENTERING AIR TEMPERATURE E.D.B. ENTERING DRY BULB E.F. EXHAUST FAN E.S.P. EXTERNAL STATIC PRESSURE E.W.B. ENTERING WET BULB E.W.C. ELECTRIC WATER COOLER E.W.T. ENTERING WATER TEMPERATURE EXIST. EXISTING E.T.R. EXISTING TO REMAIN F.C. FLEXIBLE CONNECTION F.D. FLOOR DRAIN (FD) FIRE DAMPER F.H.C. FIRE HOSE CABINET F.I. FIELD INSTALLED F.M. FLOOR MOUNTED F.P.M. FEET PER MINUTE F.R. FIN RADIATION G.P.M. GALLONS PER MINUTE H.B. HOSE BIBB HP. HORSE POWER H.W. HOT WATER SUPPLY (DOMESTIC) H.W.R. HOT WATER RETURN (DOMESTIC) I.E. INVERT ELEVATION L.A.T. LEAVING AIR TEMPERATURE LAV. LAVATORY L.D.B. LEAVING DRY BULB LOUV. LOUVER L.W.B. LEAVING WET BULB L.W.T. LEAVING WATER TEMPERATURE M.A. MIXED AIR M.A.T. MIXED AIR TEMPERATURE MAX. MAXIMUM M.B. MOP BASIN MBH BRITISH THERMAL UNIT PER HOUR (THOUSANDS) MFR.(S) MANUFACTURER(S) M.H. MANHOLE MIN. MINIMUM MTG. MOUNTING M.V. MANUAL AIR VENT N.C. NORMALLY CLOSED N.F.W.H. NON-FREEZE WALL HYDRANT N.I.C. NOT IN CONTRACT N.O. NORMALLY OPEN O.A. OUTSIDE AIR O.A.I. OUTSIDE AIR INTAKE OCT. OCTAVE P.A. PIPE ANCHOR P.D. PRESSURE DROP P.I.V. POST INDICATOR VALVE P.K.V. PRESSURE REDUCING VALVE P.T. PRESSURE / TEMPERATURE TAPPING R.A. RETURN AIR R.D. ROOF DRAIN R.H. RELATIVE HUMIDITY R.I.O. ROUGH IN ONLY R.F.M. REVOLUTIONS PER MINUTE RFRP. REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTER R.V. RELIEF VALVE S.A. SUPPLY AIR S.C.W. SOFT COLD WATER (DOMESTIC) SENS. SENSIBLE SHR. SHOWER SK. SINK S.O.V. SHUT-OFF VALVE S.P. STATIC PRESSURE S.S.K. SERVICE SINK TEMP. TEMPERATURE TOT. TOTAL T.R. TEMPERATURE RISE T.S. TIP SPEED T.S.P. TOTAL STATIC PRESSURE T.U. TERMINAL UNIT BOX T.W.C. TEPID WATER CONNECTION U.H. UNIT HEATER URN. URINAL V. VENT VEL. VELOCITY V.I. VIBRATION ISOLATORS V.I.F. VERIFY IN FIELD V.S. VENT STACK V.T.R. VENT THRU ROOF W. WASTE W.C. WATER CLOSET W.M. WALL MOUNTED W.P.D. WATER PRESSURE DROP W.SK. WASH SINK		AW ACID WASTE AWV ACID WASTE VENT BALANCING VALVE BUTTERFLY VALVE CALIBRATED BALANCING VALVE CAP CO2 CARBON DIOXIDE CHECK VALVE CR CHILLER RETURN CS CHILLER SUPPLY CWR CHILLED WATER RETURN CWS CHILLED WATER SUPPLY CWD COLD WATER (DOMESTIC) A COMPRESSED AIR COND CONDENSATE CD CONDENSATE DRAIN CONTROL VALVE CTR COOLING TOWER RETURN CTS COOLING TOWER SUPPLY DEIONIZED WATER DI FIRE DAMPER (HORIZONTAL) FIRE DAMPER (VERTICAL) FP FIRE PROTECTION FM FLOW METER (PROBE TYPE) FMF FLOW METER (WAFFER TYPE) FS FLOW SWITCH FD FOOTING DRAIN FOR FUEL OIL RETURN FOS FUEL OIL SUPPLY G GAS GAS COCK GLR GROUND LOOP WATER RETURN GLS GROUND LOOP WATER SUPPLY HR HEATING HOT WATER RETURN HS HEATING HOT WATER SUPPLY HPR HEAT PUMP RETURN HPS HEAT PUMP SUPPLY - - - - - HOT WATER RETURN (DOMESTIC) - - - - - HOT WATER SUPPLY (DOMESTIC) HUMIDSTAT MA MEDICAL AIR MVAC MEDICAL VACUUM N NITROGEN N2O NITROUS OXIDE OUTSIDE STEM AND YOKE VALVE O2 OXYGEN PRESSURE GAUGE PRESSURE REDUCING VALVE PRESSURE RELIEF VALVE PRESSURE / TEMPERATURE TAPPING PHR PRIMARY HEATING HOT WATER RETURN PHS PRIMARY HEATING HOT WATER SUPPLY PC PUMPED CONDENSATE REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTER RL REFRIGERANT LINE (LIQUID) RS REFRIGERANT LINE (SUCTION) -SAN- SANITARY SEWER (ABOVE FLOOR) - - - SAN - - - SANITARY SEWER (BELOW FLOOR) SHUT-OFF VALVE SMOKE DAMPER SCW SOFT COLD WATER SPRING CHECK VALVE -STM (#)- STEAM STEAM TRAP -ST- STORM SEWER (ABOVE FLOOR) -ST (OF)- STORM SEWER (OVERFLOW SYSTEM) -ST- STORM (BELOW FLOOR) STRAINER SMR SNOWMELT RETURN SMS SNOWMELT SUPPLY TS TEMPERATURE SENSOR TW TEPID WATER TWR TEPID WATER RETURN THERMOMETER THERMOSTAT THREE-WAY CONTROL VALVE THROTTLING VALVE TRIPLE DUTY VALVE (ANGLE) TRIPLE DUTY VALVE (STRAIGHT) UNION VAC VACUUM VACUUM BREAKER -V- VENT		1 DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. DRAWINGS ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. 2 IF THE CONTRACTOR ELECTS TO PROVIDE EQUIPMENT OTHER THAN BASIS OF DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE LAYOUT AND CLEARANCE REQUIREMENTS IN ALL SPACES CONTAINING EQUIPMENT AND PROVIDE EQUIPMENT MEETING THE SPECIFICATIONS AND ACHIEVING CODE REQUIRED CLEARANCES WITHIN THE SPACE PROVIDED. CONTRACTOR IS REQUIRED TO COVER ALL ELECTRICAL COSTS FOR OTHER THAN BASIS OF DESIGN PRODUCTS SUCH AS DIFFERENT VOLTAGE OR DIFFERENT SIZE MOTOR. 3 COORDINATE ALL NEW CONSTRUCTION WORK OR ACTIVITY WITH THAT WHICH IS REQUIRED BY OTHER TRADES OR INSTALLERS IN ORDER TO PROVIDE A COMPLETE SYSTEM INCLUDING ALL NECESSARY COMPONENTS, FITTINGS, AND OFFSETS. 4 INSTALLER SHALL VERIFY ALL EXISTING JOBSITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. NOTIFY THE ENGINEER OF DISCREPANCIES PRIOR TO COMMENCING WORK. 5 FIRE SEAL ALL PENETRATIONS, SUCH AS PIPES, DUCTS, CONDUIT, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES. 6 MECHANICAL INSTALLER IS RESPONSIBLE FOR PATCHING OF WALLS, CEILINGS, AND FLOORS WHERE FIXTURES, MECHANICAL EQUIPMENT, SHEET METAL, OR PIPING HAS BEEN REMOVED, RELOCATED, OR INSTALLED. 7 ALL PIPING AND DUCTWORK SHALL AVOID LOCATIONS DIRECTLY ABOVE ALL ELECTRICAL EQUIPMENT. COORDINATE WITH ELECTRICAL. 8 ALL LOW VOLTAGE CABLING SHALL BE RUN IN CONDUIT BETWEEN DEVICE AND CABLE TRAY OR TECHNOLOGY RACK. NO CABLING SHALL BE VISIBLE IN EXPOSED CEILING SPACES AND SHALL BE ROUTED IN CONDUIT THAT IS PAINTED TO MATCH SURFACE IT IS SUPPORTED FROM. CABLING THAT IS ROUTED ABOVE AN ACCESSIBLE CEILING SPACE CAN BE INDEPENDENTLY SUPPORTED WITH COMM HOOKS OR RINGS. 9 COORDINATE ALL TEMPERATURE SENSOR LOCATIONS WITH "ELECTRICAL DEVICES ALIGNMENT GUIDELINES" DETAIL ON SHEET G003. 10 WHERE SPACE PERMITS, ALL HYDRONIC BRANCH PIPING SHALL TAP OFF OF BOTTOM OR SIDE OF PIPING MAINS PER BRANCH PIPING TAKE-OFF PIPING DETAIL THIS SHEET. MANUAL AIR VENTS SHALL BE INSTALLED AT THE TOP OF ALL HYDRONIC CEILING SYSTEMS. 11 ALL EXISTING CLOSED SYSTEMS SHALL BE ISOLATED AND FLUSHED/CLEANED PRIOR TO CONNECTION TO NEW SYSTEMS. 12 ALL BRANCH PIPING SHALL BE FURNISHED WITH SHUT-OFF VALVES IN AN ACCESSIBLE LOCATION NEAR MAIN CONNECTION. 13 NEW EQUIPMENT IS NOT PERMITTED TO BE USED FOR TEMPORARY HEAT WITHOUT THE OWNER'S WRITTEN APPROVAL. 14 THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING NEW AND EXISTING EQUIPMENT FROM DAMAGE.	
CONTROL SYMBOLS		DUCTWORK COLOR LEGEND		GENERAL NOTES - MECHANICAL - DEMOLITION	
CONTROL VALVE FLOW METER (PROBE TYPE) THREE-WAY CONTROL VALVE FREEZE STAT MOTORIZED ACTUATOR HUMIDITY SENSOR TEMPERATURE SENSOR CARBON DIOXIDE SENSOR DIFFERENTIAL PRESSURE SENSOR AIRFLOW SENSOR MOISTURE SENSOR DUCT SMOKE SENSOR		LOWER PRESSURE SUPPLY AIR EXHAUST AIR RETURN AIR MEDIUM PRESSURE SUPPLY AIR OUTSIDE AIR		1 ALL DUCTWORK, PIPING AND EQUIPMENT SHOWN DASHED SHALL BE REMOVED. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE FOR REUSE WITH TEMPORARY COVERS, SHORING, BRACING AND SUPPORTS. VERIFY LOCATIONS OF AND PROTECT EXISTING INTERIOR ELECTRICAL AND MECHANICAL UTILITIES AND SERVICES EXCEPT WHERE INDICATED OTHERWISE. ALL MATERIALS AND EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. THE OWNER RESERVES THE RIGHT TO KEEP ANY EQUIPMENT OR TO SALVAGE PARTS FROM ANY EQUIPMENT PRIOR TO BEING REMOVED FROM SITE. ALL MATERIALS AND EQUIPMENT REQUIRING REMOVAL AND RELOCATION FOR REUSE SHALL BE CAREFULLY REMOVED AND STORED TO PREVENT DAMAGE AND REINSTALLED AS THE WORK PROGRESSES. 2 CONTRACTOR SHALL PROTECT ALL WALLS, CEILINGS, FLOORS, LIGHTS AND OTHER FINISHED SURFACES NOT BEING DEMOED. IF DAMAGED, THE CONTRACTOR SHALL REPAIR TO MATCH EXISTING CONDITIONS. 3 MODIFICATIONS TO THE ROOFING SYSTEM FOR DEMOLITION OR INSTALLATION OF NEW EQUIPMENT SHALL BE DONE IN A MANNER TO MAINTAIN OWNER'S ROOFING WARRANTY. 4 FOR ALL EXISTING ROOF CURBS WHICH ARE NOT BEING REUSED AND ARE RECEIVING NEW ROOF CAPS, IF THE MAXIMUM DIMENSIONS OF THE CURB EXCEED 30" IN EITHER DIRECTION THEN PROVIDE AND INSTALL 1. 1/2" x 1. 1/2" x 1/4" SUPPORT ANGLES TO SPAN ACROSS TOP OF ROOF CURB OPENING BELOW ROOF CAP. SPACING BETWEEN ANGLES SHALL NOT EXCEED 24" ON CENTER.	
GENERAL NOTES - PLUMBING - CONSTRUCTION		GENERAL NOTES - MECHANICAL - NEW CONSTRUCTION		GENERAL NOTES - MECHANICAL - DEMOLITION	
1 PROVIDE WATER HAMMER ARRESTOR FOR EACH WATER CLOSET AND OTHER FAST CLOSING VALVES. IF MULTIPLE FIXTURES ARE TO BE PROTECTED WITH A SINGLE WATER HAMMER ARRESTOR, SIZING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.		1 DETAILS SHOWN ILLUSTRATE DESIGN INTENT, NOT ALL POSSIBLE CONDITIONS. DRAWINGS ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. 2 IF THE CONTRACTOR ELECTS TO PROVIDE EQUIPMENT OTHER THAN BASIS OF DESIGN, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THE LAYOUT AND CLEARANCE REQUIREMENTS IN ALL SPACES CONTAINING EQUIPMENT AND PROVIDE EQUIPMENT MEETING THE SPECIFICATIONS AND ACHIEVING CODE REQUIRED CLEARANCES WITHIN THE SPACE PROVIDED. CONTRACTOR IS REQUIRED TO COVER ALL ELECTRICAL COSTS FOR OTHER THAN BASIS OF DESIGN PRODUCTS SUCH AS DIFFERENT VOLTAGE OR DIFFERENT SIZE MOTOR. 3 COORDINATE ALL NEW CONSTRUCTION WORK OR ACTIVITY WITH THAT WHICH IS REQUIRED BY OTHER TRADES OR INSTALLERS IN ORDER TO PROVIDE A COMPLETE SYSTEM INCLUDING ALL NECESSARY COMPONENTS, FITTINGS, AND OFFSETS. 4 INSTALLER SHALL VERIFY ALL EXISTING JOBSITE CONDITIONS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. NOTIFY THE ENGINEER OF DISCREPANCIES PRIOR TO COMMENCING WORK. 5 FIRE SEAL ALL PENETRATIONS, SUCH AS PIPES, DUCTS, CONDUIT, ETC. THROUGH FIRE AND/OR SMOKE RATED ASSEMBLIES. 6 MECHANICAL INSTALLER IS RESPONSIBLE FOR PATCHING OF WALLS, CEILINGS, AND FLOORS WHERE FIXTURES, MECHANICAL EQUIPMENT, SHEET METAL, OR PIPING HAS BEEN REMOVED, RELOCATED, OR INSTALLED. 7 ALL PIPING AND DUCTWORK SHALL AVOID LOCATIONS DIRECTLY ABOVE ALL ELECTRICAL EQUIPMENT. COORDINATE WITH ELECTRICAL. 8 ALL LOW VOLTAGE CABLING SHALL BE RUN IN CONDUIT BETWEEN DEVICE AND CABLE TRAY OR TECHNOLOGY RACK. NO CABLING SHALL BE VISIBLE IN EXPOSED CEILING SPACES AND SHALL BE ROUTED IN CONDUIT THAT IS PAINTED TO MATCH SURFACE IT IS SUPPORTED FROM. CABLING THAT IS ROUTED ABOVE AN ACCESSIBLE CEILING SPACE CAN BE INDEPENDENTLY SUPPORTED WITH COMM HOOKS OR RINGS. 9 COORDINATE ALL TEMPERATURE SENSOR LOCATIONS WITH "ELECTRICAL DEVICES ALIGNMENT GUIDELINES" DETAIL ON SHEET G003. 10 WHERE SPACE PERMITS, ALL HYDRONIC BRANCH PIPING SHALL TAP OFF OF BOTTOM OR SIDE OF PIPING MAINS PER BRANCH PIPING TAKE-OFF PIPING DETAIL THIS SHEET. MANUAL AIR VENTS SHALL BE INSTALLED AT THE TOP OF ALL HYDRONIC CEILING SYSTEMS. 11 ALL EXISTING CLOSED SYSTEMS SHALL BE ISOLATED AND FLUSHED/CLEANED PRIOR TO CONNECTION TO NEW SYSTEMS. 12 ALL BRANCH PIPING SHALL BE FURNISHED WITH SHUT-OFF VALVES IN AN ACCESSIBLE LOCATION NEAR MAIN CONNECTION. 13 NEW EQUIPMENT IS NOT PERMITTED TO BE USED FOR TEMPORARY HEAT WITHOUT THE OWNER'S WRITTEN APPROVAL. 14 THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING NEW AND EXISTING EQUIPMENT FROM DAMAGE.		1 ALL DUCTWORK, PIPING AND EQUIPMENT SHOWN DASHED SHALL BE REMOVED. PROTECT EXISTING WORK WHICH IS TO REMAIN IN PLACE FOR REUSE WITH TEMPORARY COVERS, SHORING, BRACING AND SUPPORTS. VERIFY LOCATIONS OF AND PROTECT EXISTING INTERIOR ELECTRICAL AND MECHANICAL UTILITIES AND SERVICES EXCEPT WHERE INDICATED OTHERWISE. ALL MATERIALS AND EQUIPMENT REMOVED AND NOT REUSED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. THE OWNER RESERVES THE RIGHT TO KEEP ANY EQUIPMENT OR TO SALVAGE PARTS FROM ANY EQUIPMENT PRIOR TO BEING REMOVED FROM SITE. ALL MATERIALS AND EQUIPMENT REQUIRING REMOVAL AND RELOCATION FOR REUSE SHALL BE CAREFULLY REMOVED AND STORED TO PREVENT DAMAGE AND REINSTALLED AS THE WORK PROGRESSES. 2 CONTRACTOR SHALL PROTECT ALL WALLS, CEILINGS, FLOORS, LIGHTS AND OTHER FINISHED SURFACES NOT BEING DEMOED. IF DAMAGED, THE CONTRACTOR SHALL REPAIR TO MATCH EXISTING CONDITIONS. 3 MODIFICATIONS TO THE ROOFING SYSTEM FOR DEMOLITION OR INSTALLATION OF NEW EQUIPMENT SHALL BE DONE IN A MANNER TO MAINTAIN OWNER'S ROOFING WARRANTY. 4 FOR ALL EXISTING ROOF CURBS WHICH ARE NOT BEING REUSED AND ARE RECEIVING NEW ROOF CAPS, IF THE MAXIMUM DIMENSIONS OF THE CURB EXCEED 30" IN EITHER DIRECTION THEN PROVIDE AND INSTALL 1. 1/2" x 1. 1/2" x 1/4" SUPPORT ANGLES TO SPAN ACROSS TOP OF ROOF CURB OPENING BELOW ROOF CAP. SPACING BETWEEN ANGLES SHALL NOT EXCEED 24" ON CENTER.	

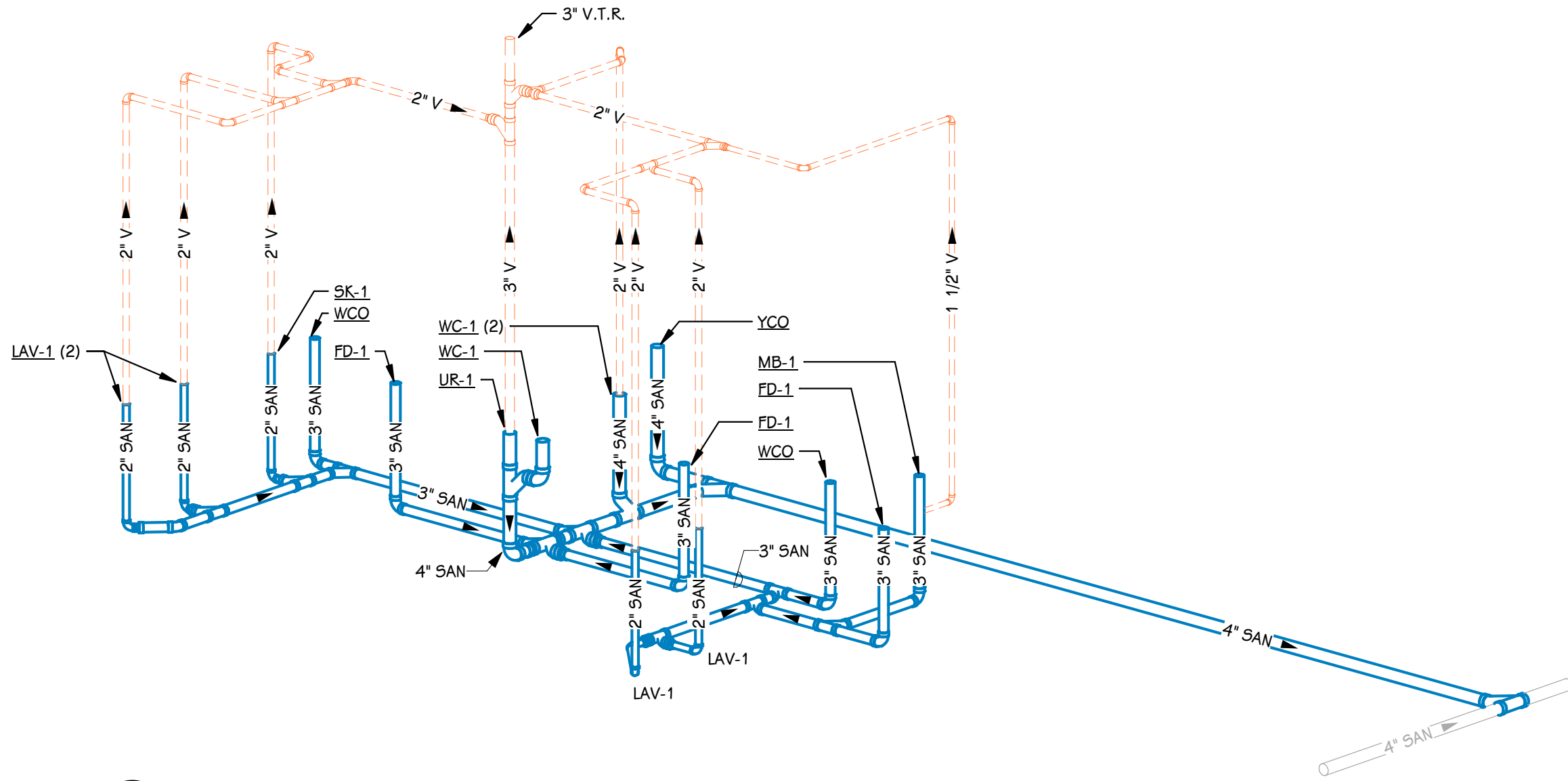
NOTE:
NOT ALL SYMBOLS AND ABBREVIATIONS ARE APPLICABLE TO THE SCOPE OF WORK INDICATED ON SUBSEQUENT DRAWINGS. CONTRACTOR SHALL DETERMINE WHICH SYMBOLS AND ABBREVIATIONS ARE APPLICABLE TO THE SPECIFIC SCOPE OF WORK UPON REVIEWING THE PROJECT DRAWINGS AND SPECIFICATIONS.

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING





OVERALL FOUNDATION PLUMBING PLAN
1/8" = 1'-0"



PLUMBING RISER DIAGRAM

- KEYED NOTES - PLUMBING - DOMESTIC**
- 1 WC: 1 1/4" CW, 4" SAN, 2" V.
 - 2 UR: 3/4" CW, 2" SAN, 1 1/2" V.
 - 3 LAV OR SK: 1/2" CW, 1/2" HW, 2" SAN, 2" V. 3" SAN BELOW SLAB.
 - 4 PROVIDE 1/2" CW (RAW) TO SK-1. PROVIDE 1/2" CW BRANCH UNDER SINK AND ROUTE TO WATER FILTER MOUNTED IN BASE CABINET. ROUTE 1/2" FILTERED WATER FROM FILTER TO ICE MAKER BY OTHERS. PROVIDE INLINE WATER FILTER IN ACCORDANCE WITH NSF/ANSI 42 & 53.
 - 5 REFER TO OVERALL PLUMBING PLAN FOR CONTINUATION.
 - 6 3" SAN DN. FROM FLOOR DRAIN.
 - 7 REFER TO SHEET METAL PLAN.
 - 8 MB: 3/4" HW, 3/4" CW, 3" SAN, 1 1/2" VENT.
 - 9 CONNECT TO EXISTING SANITARY. VERIFY INVERT IN FIELD.
 - 10 PROVIDE 3" V.T.R. PAINT TO MATCH ROOF.
 - 11 CONNECT TO EXISTING GAS PIPING, REFER TO DETAIL ON P.501. ROUTE BELOW GRADE TO NEW GRADE MOUNTED RTU. REFER TO SPECIFICATION FOR BELOW GRADE GAS PIPING.
 - 12 CONNECT TO EXISTING.
 - 13 CONTRACTOR TO FIELD VERIFY EXISTING LINE SIZE AND NOTIFY ENGINEER OF ANY DISCREPANCY.

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TEAMSTERS LOCAL 2727

KEY PLAN

BUILDING ADDITION

EXISTING BUILDING

SHEET TITLE
OVERALL FOUNDATION PLUMBING PLAN

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727 Building Addition

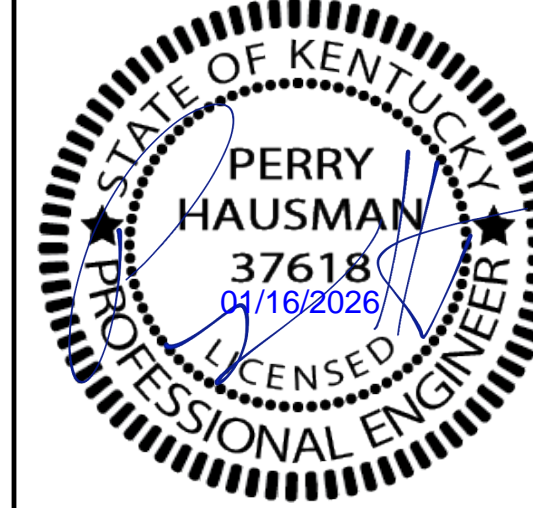
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DATE

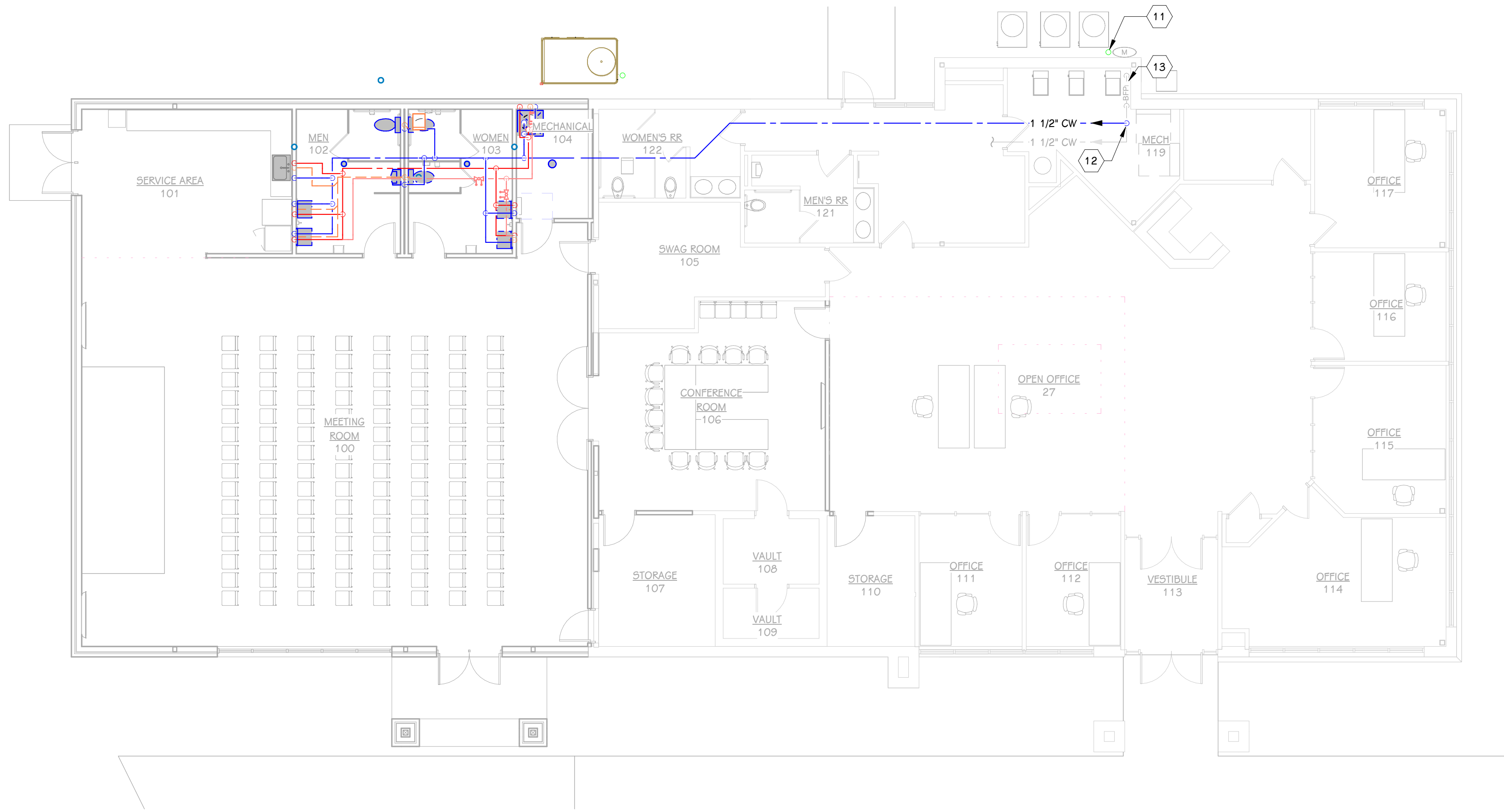
SHEET NUMBER
P 001
25-376.000

DATE
JANUARY 16, 2026

OWNER
4810 N Preston Hwy
Shepardsville, KY



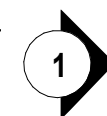
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OVERALL FIRST FLOOR PLUMBING PLAN

1/8" = 1'-0"

TEAMSTERS LOCAL 2727



BUILDING
ADDITION

EXISTING
BUILDING



KEY PLAN

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

KEYED NOTES - PLUMBING - DOMESTIC

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- CONNECT TO EXISTING.
- CONTRACTOR TO FIELD VERIFY EXISTING LINE SIZE AND NOTIFY ENGINEER OF ANY DISCREPENCY.

SHEET TITLE

OVERALL FIRST FLOOR PLUMBING PLAN

OWNER

TEAMSTERS LOCAL 2727

PROJECT TITLE

TEAMSTERS LOCAL 2727 Building Addition

ISSUED FOR

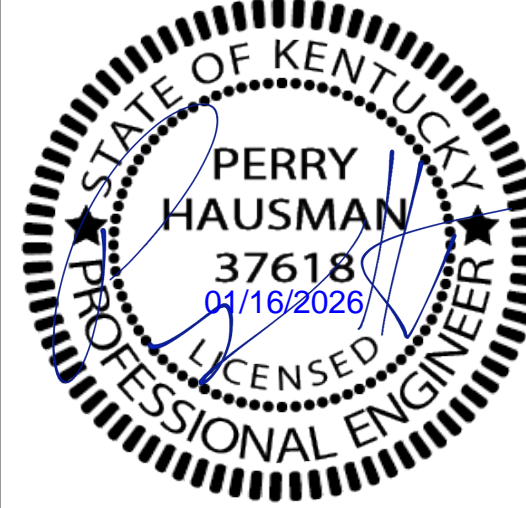
SHEET NUMBER

P 100

DATE

JANUARY 16, 2026

4810 N Preston Hwy
Shepardsville, KY



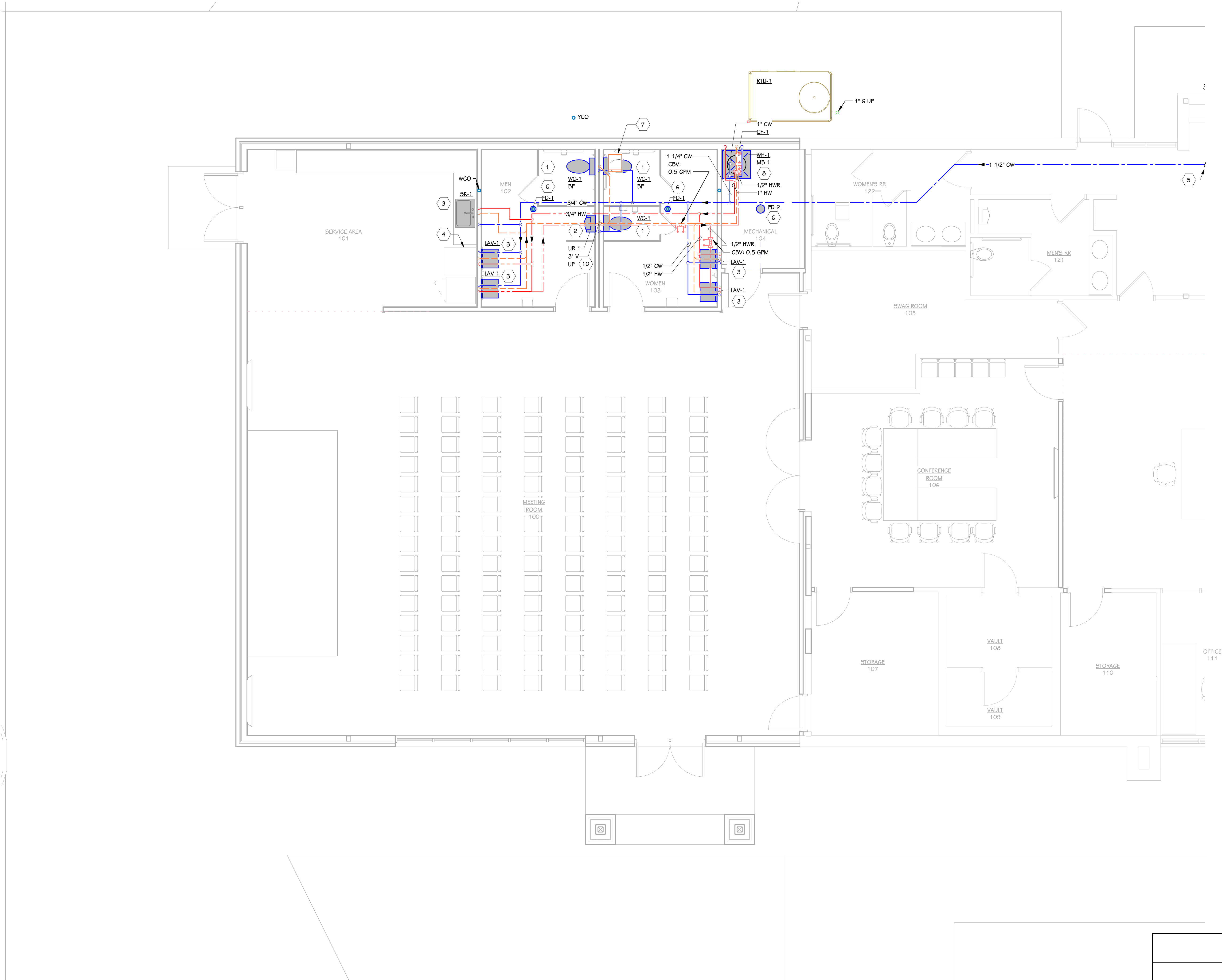
DATE

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PLUMBING PLAN - ADDITION
1/4" = 1'-0"

- KEYED NOTES - PLUMBING - DOMESTIC**
- WC: 1 1/4" CW, 4" SAN, 2" V.
 - UR: 3/4" CW, 2" SAN, 1 1/2" V.
 - LAV OR SK: 1/2" CW, 1/2" HW, 2" SAN, 2" V. 3" SAN BELOW SLAB.
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THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE, IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN AN ACCURATE DRAWING

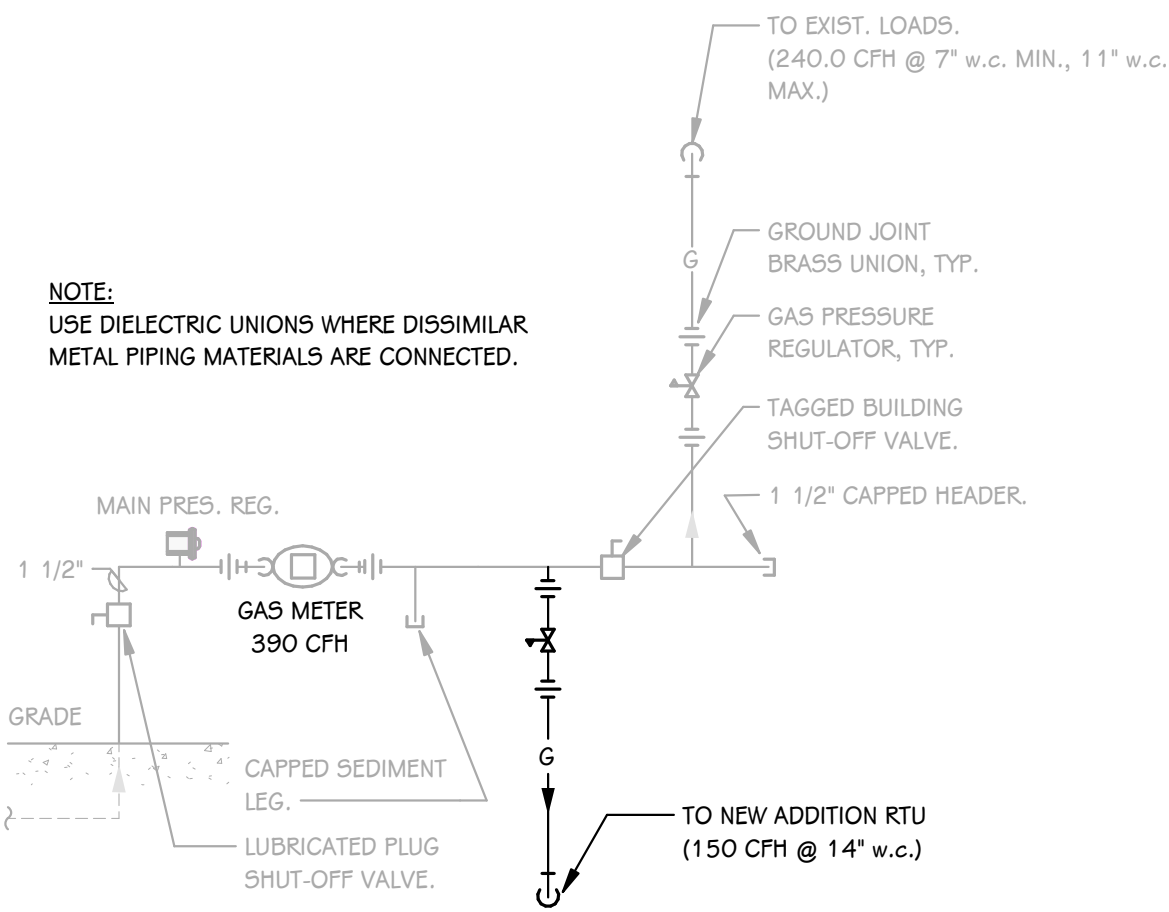
TEAMSTERS LOCAL 2727

KEY PLAN

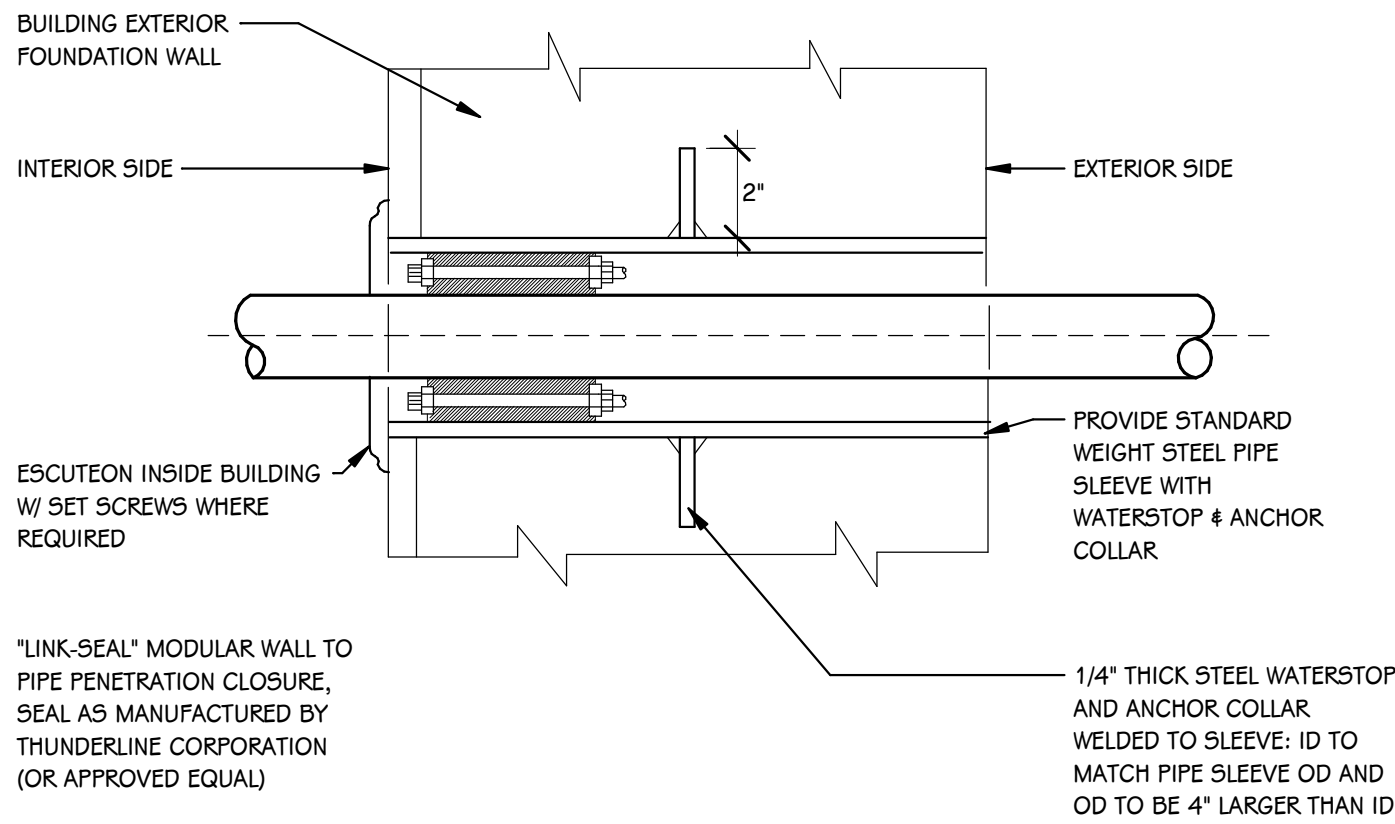
BUILDING ADDITION

EXISTING BUILDING

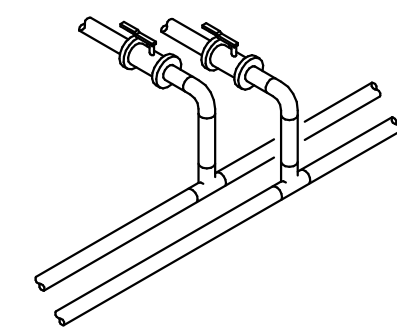
NATURAL GAS LOAD SCHEDULE - TOTAL BUILDING		
EQUIPMENT	LOAD (CFH)	PRESSURE (IN WC)
EXIST. GF-1	80	4" - 14"
EXIST. GF-2	80	4" - 14"
EXIST. GF-3	80	4" - 14"
RTU-1	150	4" - 14"
	390	



GAS SERVICE PIPING DETAIL
SCALE: NONE



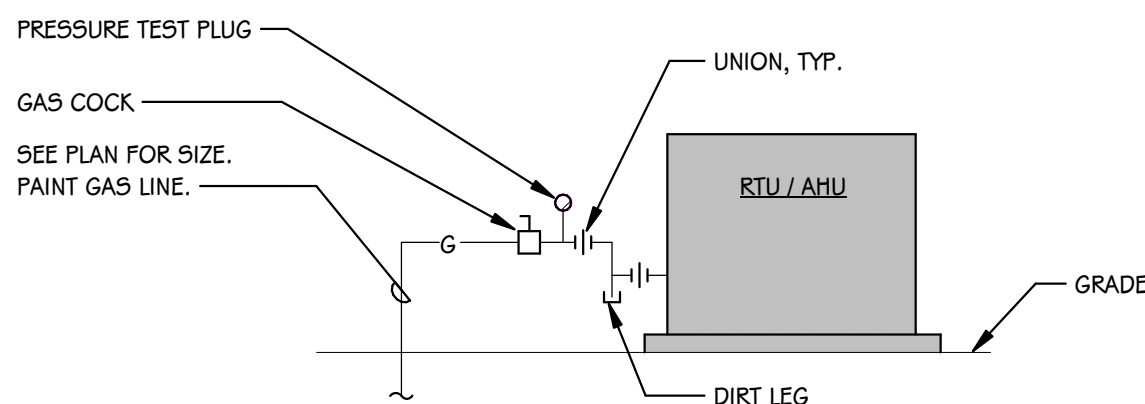
EXTERIOR WALL SLEEVE DETAIL
SCALE: NONE



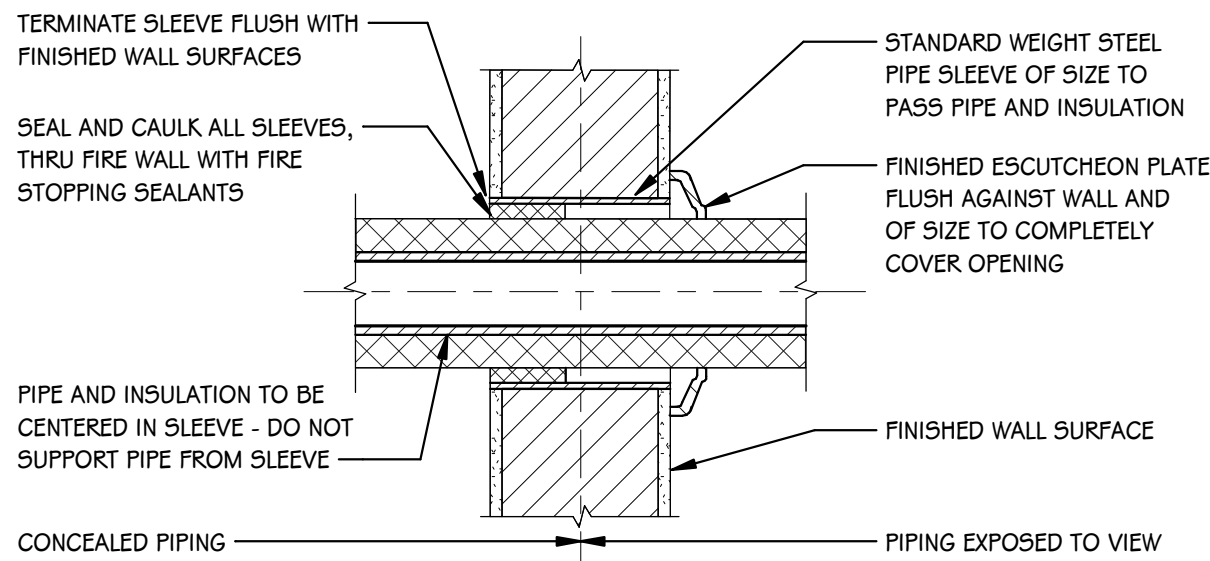
BRANCH CONNECTION OFF TOP

APPLIES TO THE FOLLOWING SYSTEMS:
DOMESTIC WATER
NATURAL GAS
COMPRESSED AIR
STEAM / CONDENSATE

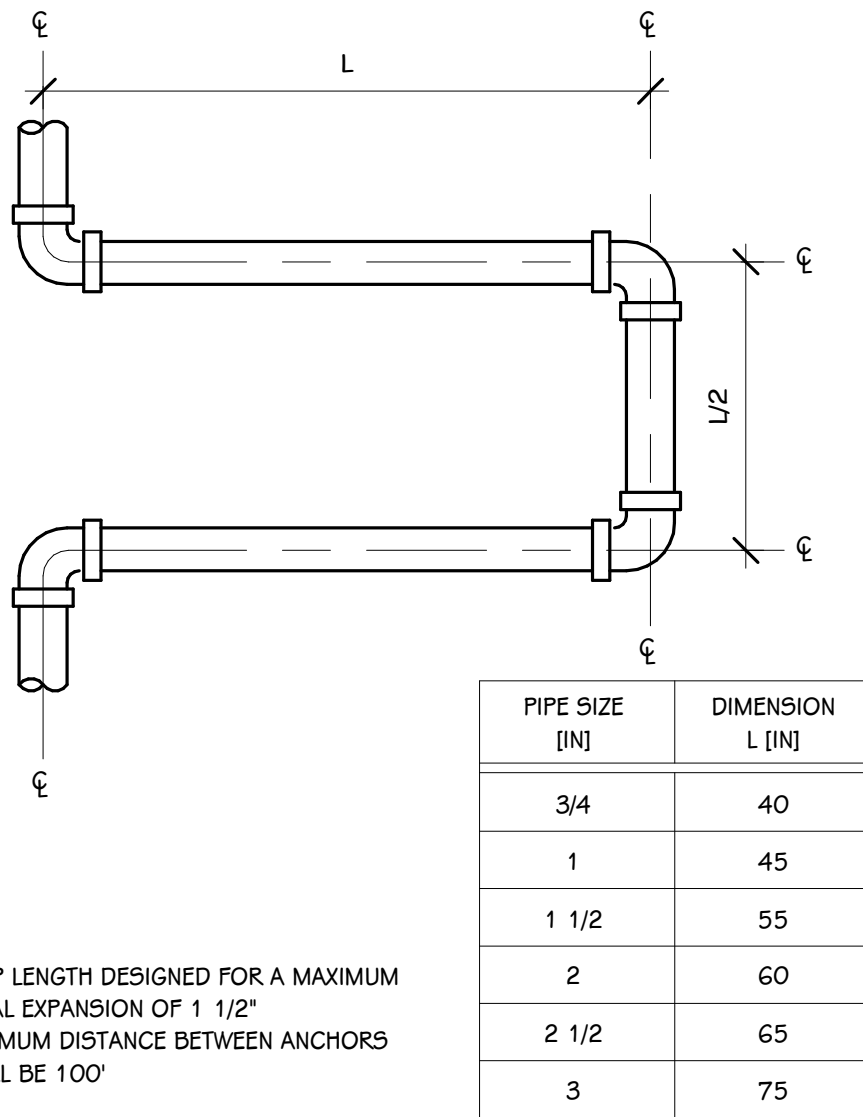
BRANCH TAKE-OFF PIPING DETAIL
SCALE: NONE



TYPICAL RTU GAS PIPING DETAIL
SCALE: NONE

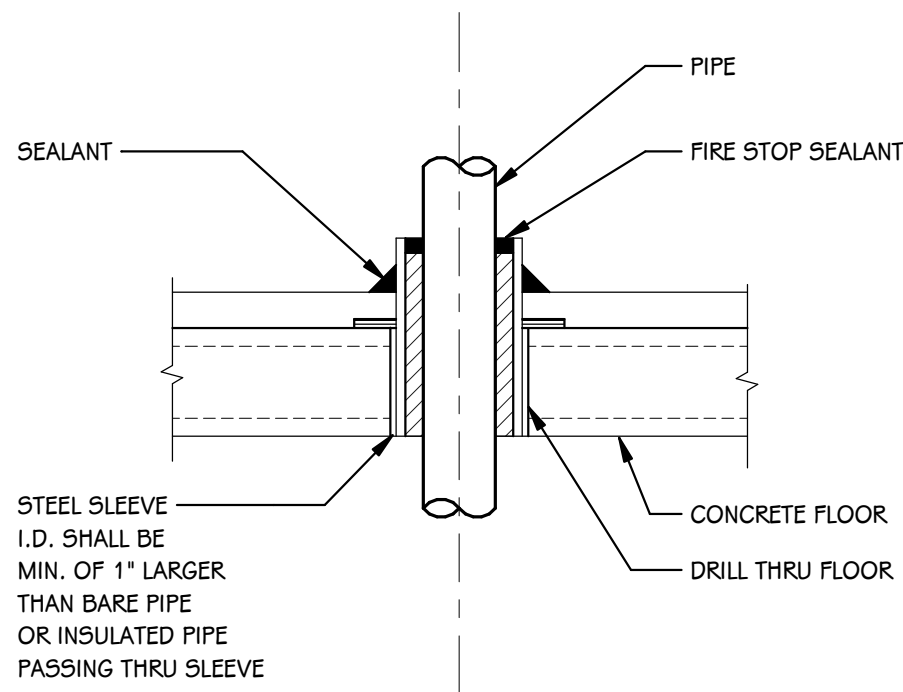


PIPING SLEEVE DETAIL - INTERIOR WALL
SCALE: NONE

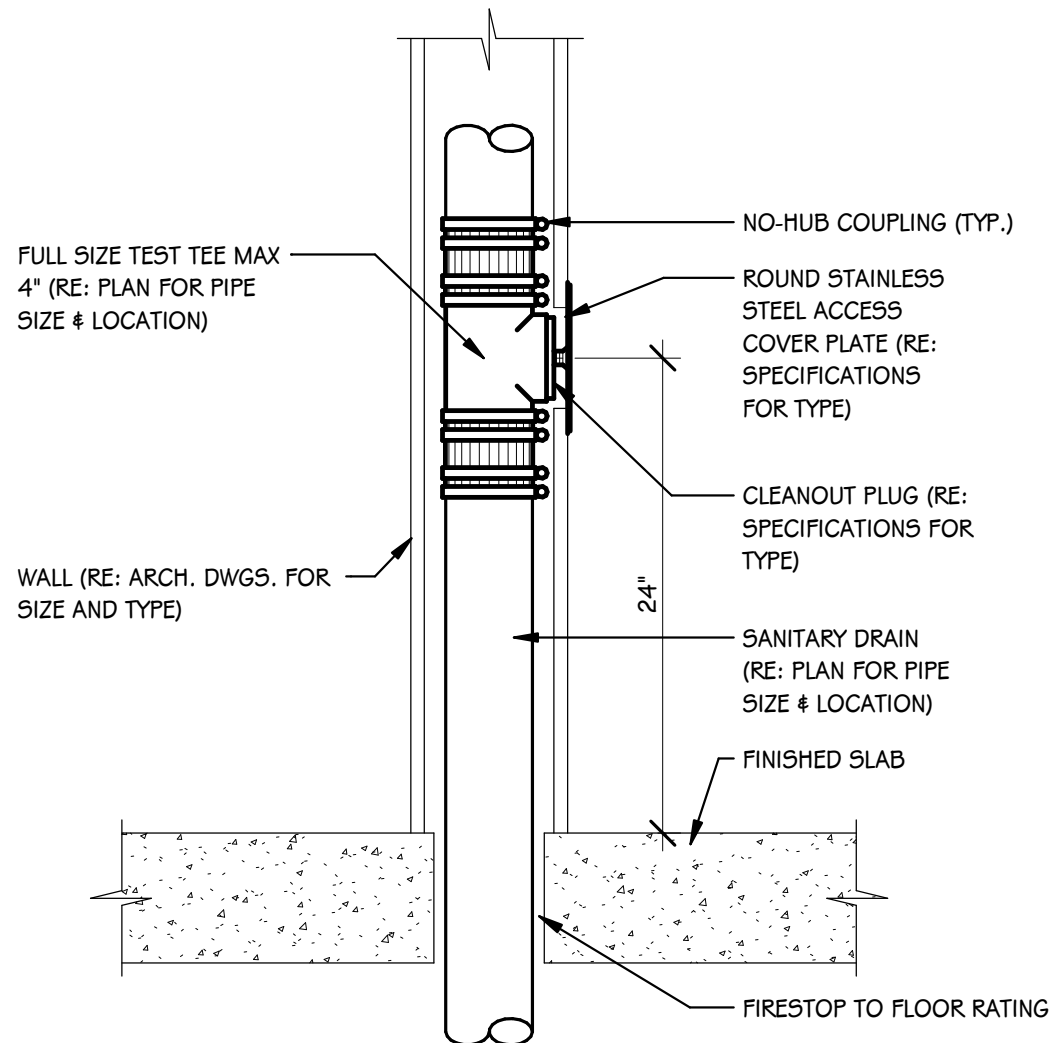


- NOTES:
1. LOOP LENGTH DESIGNED FOR A MAXIMUM LINEAL EXPANSION OF 1 1/2"
 2. MAXIMUM DISTANCE BETWEEN ANCHORS SHALL BE 100'

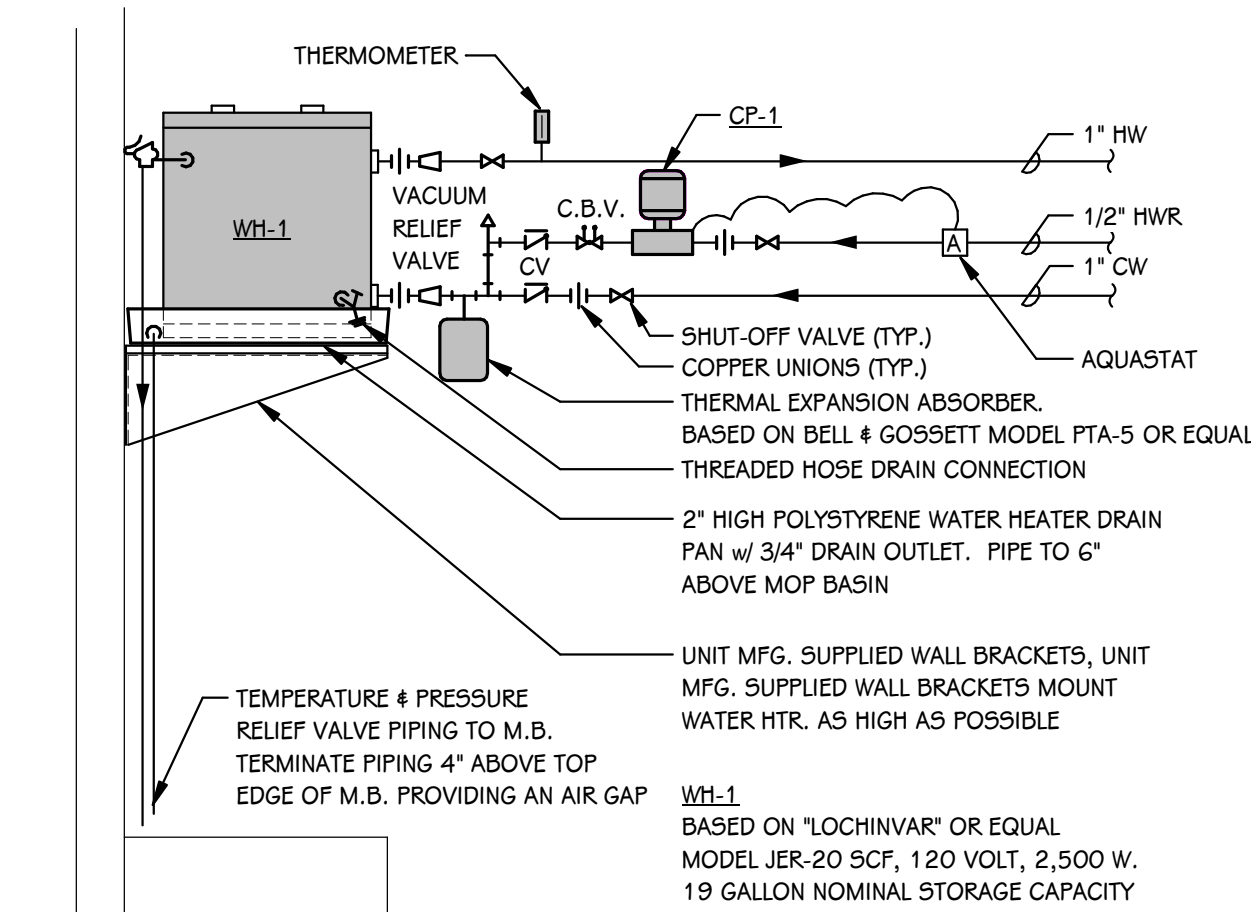
DOMESTIC HOT WATER EXPANSION LOOP DETAIL
SCALE: NONE



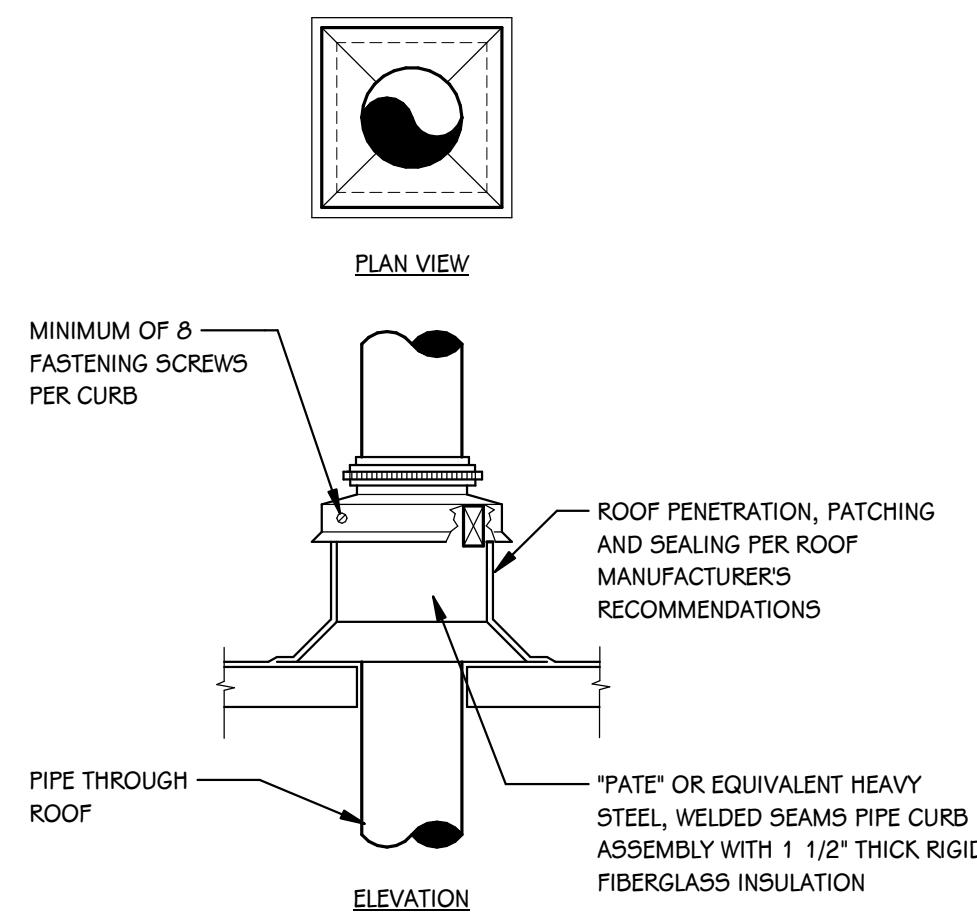
PIPING SLEEVE DETAIL - THRU FLOOR
SCALE: NONE



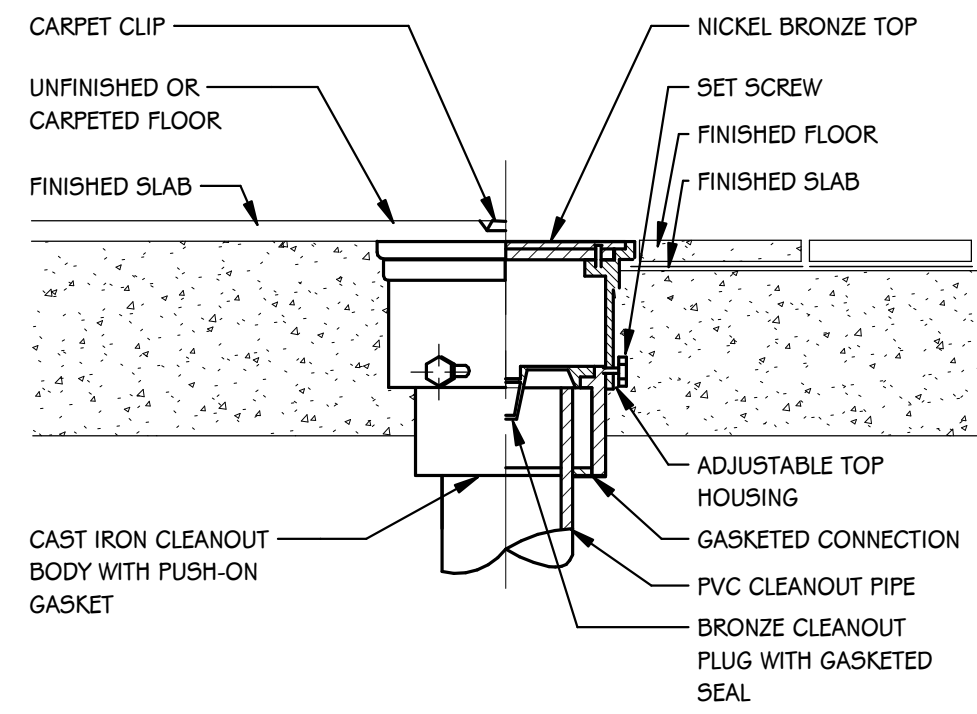
WALL CLEANOUT DETAIL
SCALE: NONE



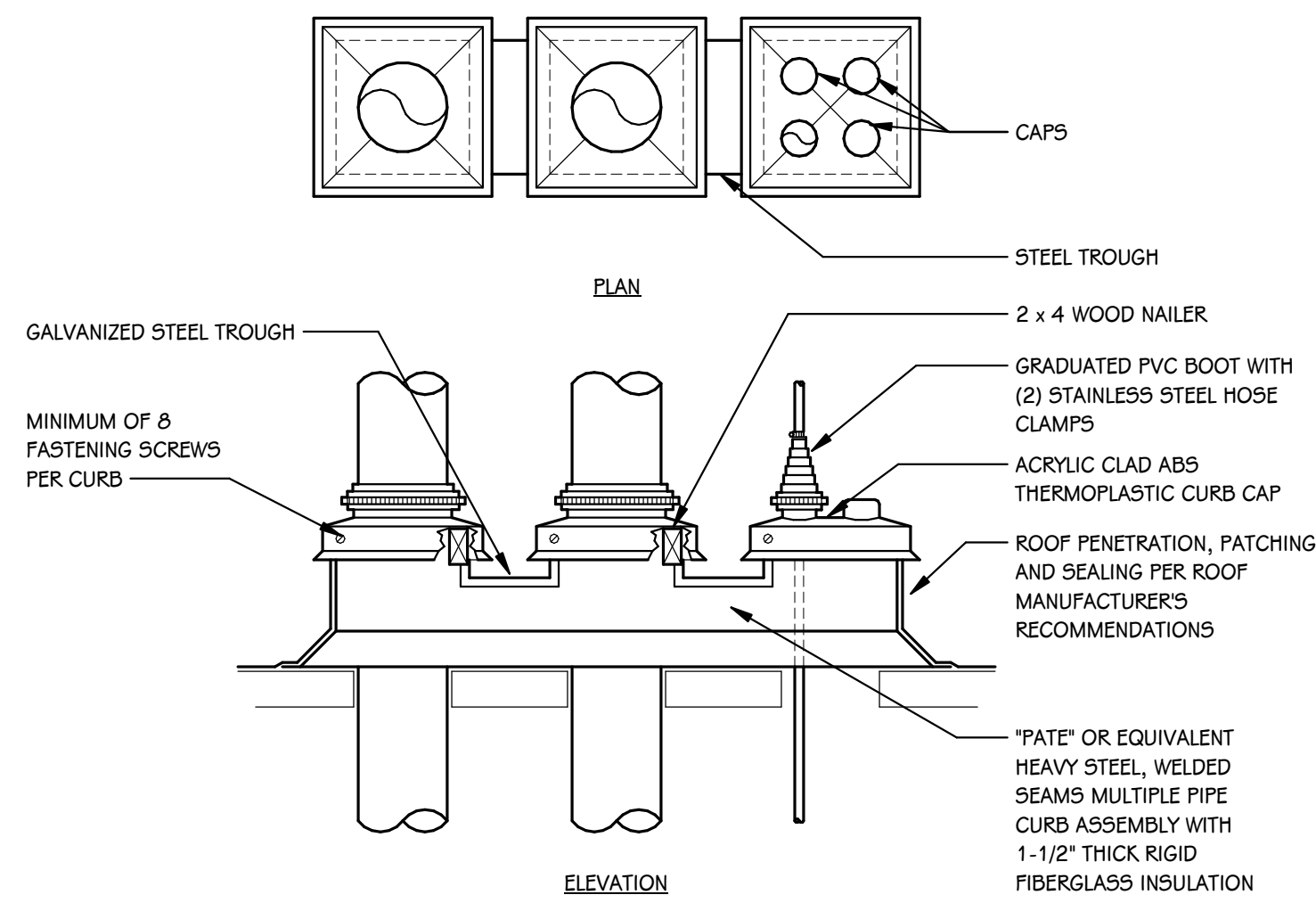
SHELF MOUNTED ELECTRIC WATER HEATER DETAIL (WH-1)
SCALE: NONE



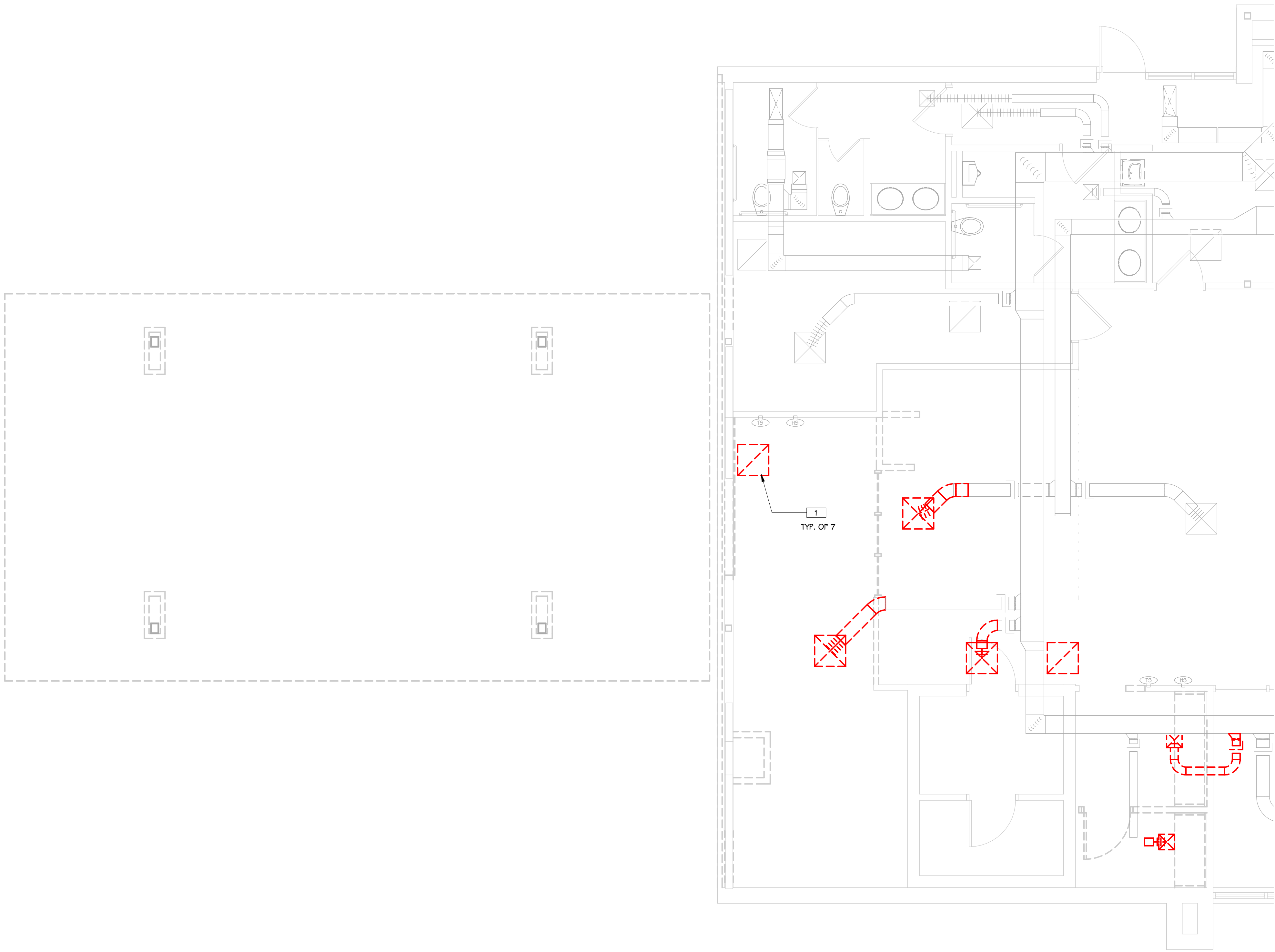
PIPE CURB DETAIL - SINGLE
SCALE: NONE



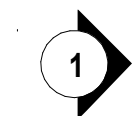
FLOOR CLEANOUT DETAIL
SCALE: NONE



PIPE CURB DETAIL - MULTIPLE
SCALE: NONE



FIRST FLOOR MECHANICAL DEMOLITION PLAN - ADDITION
1/4" = 1'-0"



BUILDING
ADDITION

EXISTING
BUILDING



KEY PLAN

TEAMSTERS LOCAL 2727

THIS DRAWING SHEET IS INTENDED TO BE PLOTTED IN
COLOR. IF THIS TEXT APPEARS IN BLACK AND WHITE,
IT IS PLOTTED INCORRECTLY. DISCARD AND OBTAIN
AN ACCURATE DRAWING

KEYED NOTES - MECHANICAL - DEMOLITION

1 REMOVE GRILLE OR DIFFUSER AND ASSOCIATED DUCTWORK AS INDICATED. PREPARE FOR NEW WORK.

SHEET TITLE

FIRST FLOOR MECHANICAL DEMOLITION
PLAN - ADDITION

OWNER

TEAMSTERS LOCAL 2727

PROJECT TITLE

TEAMSTERS LOCAL 2727 Building Addition

ISSUED FOR

SHEET NUMBER

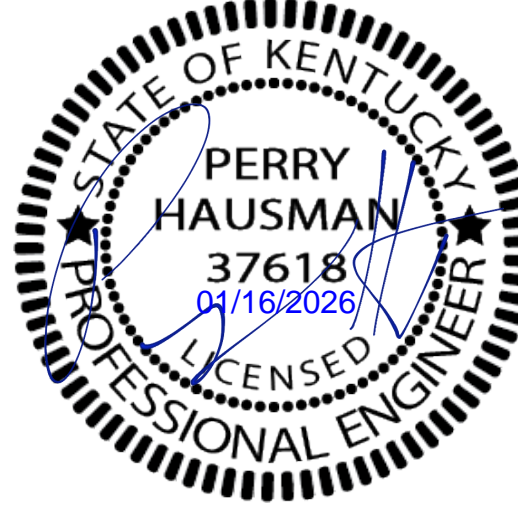
MD 101

DATE

JANUARY 16, 2026

4810 N Preston Hwy

Shepardsville, KY

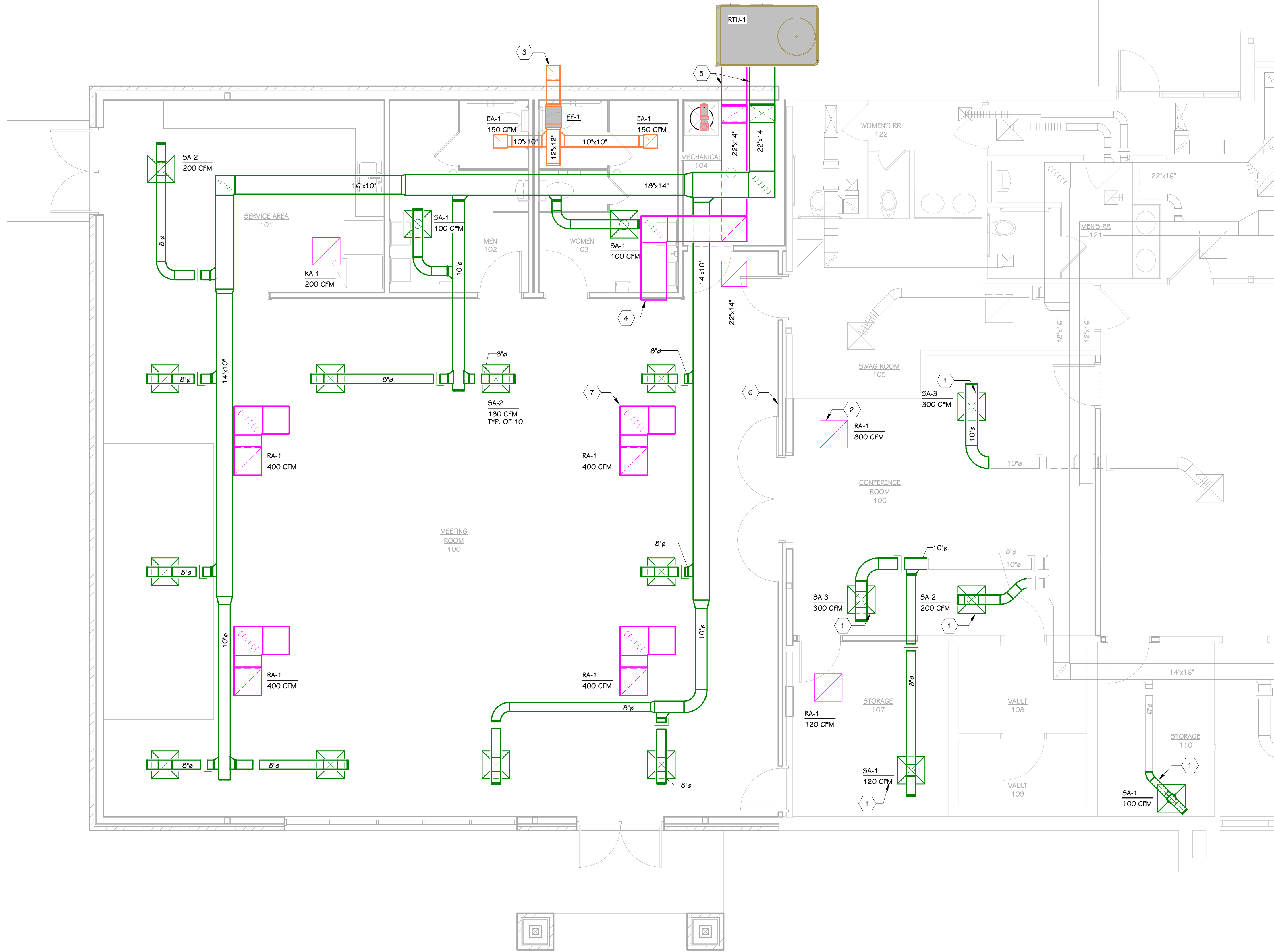


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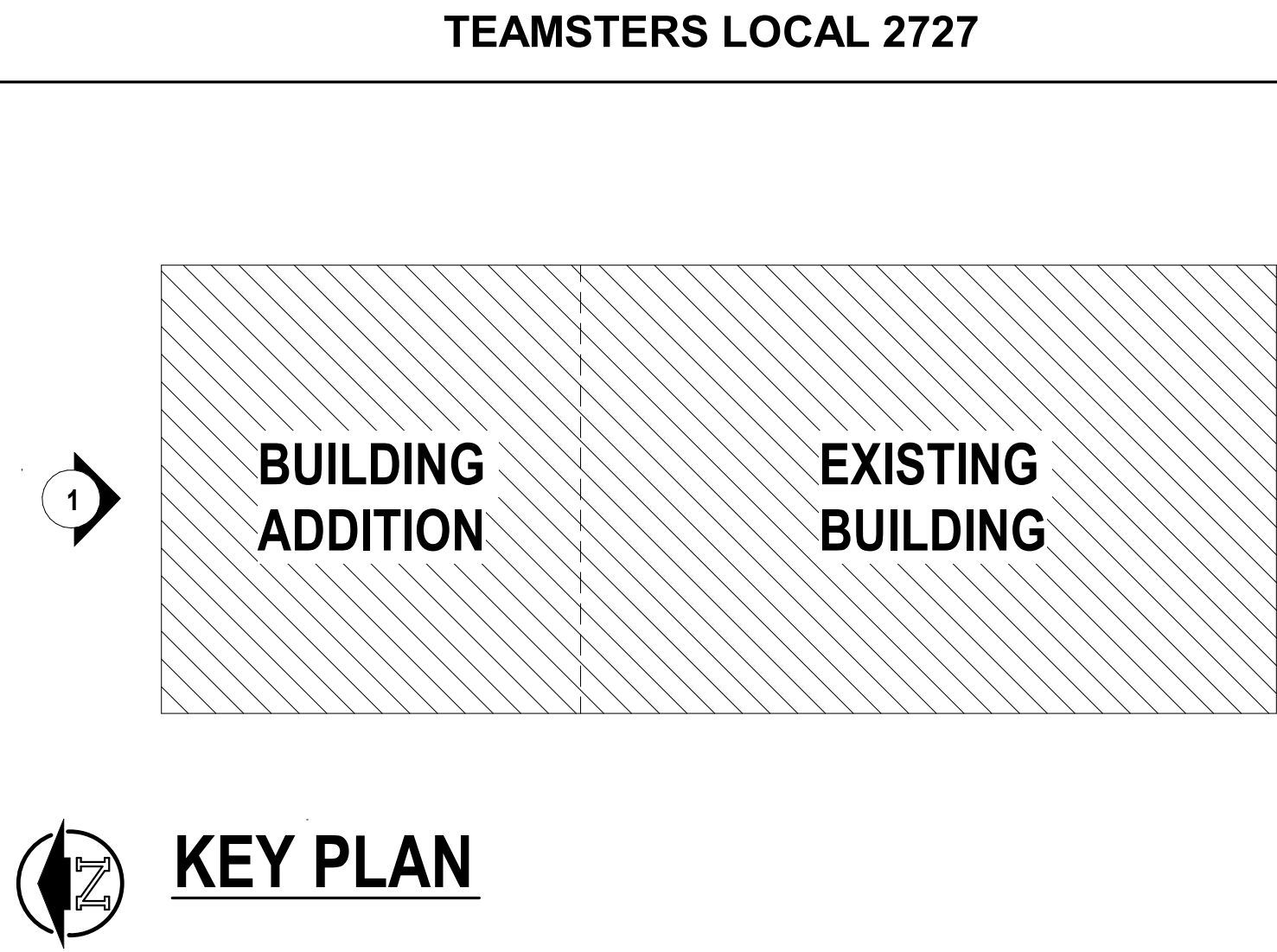
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- KEYED NOTES - MECHANICAL - SHEET METAL**
- 1 TIE NEW GRILLE OR DIFFUSER INTO EXISTING DUCTWORK AS INDICATED. BALANCE TO CFM LISTED ON DRAWING.
 - 2 REFER TO RETURN AIR BOOT DETAIL.
 - 3 DUCT HORIZONTAL THROUGH SOFFIT. TERMINATE WITH SOFFIT VENT.
 - 4 CONNECT TO CEILING RETURN PLENUM.
 - 5 EXTERIOR DUCTWORK BASED ON "THERMA-DUCT" PHENOLIC DUCT.
 - 6 THERMOSTAT.
 - 7 REFER TO RETURN AIR PLENUM TRANSFER DUCT DETAIL SHEET M501.

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MECHANICAL FLOOR PLAN - ADDITION
1/4" = 1'-0"



PROJECT TITLE
TEAMSTERS LOCAL 2727 Building Addition

OWNER
TEAMSTERS LOCAL 2727

DATE
JANUARY 16, 2026

SHEET NUMBER
M 101

ISSUED FOR

DATE

SHEET TITLE
FIRST FLOOR SHEET METAL PLAN - ADDITION

DATE
JANUARY 16, 2026

SHEET NUMBER
M 101

4810 N Preston Hwy
Shepardsville, KY

25-376.000

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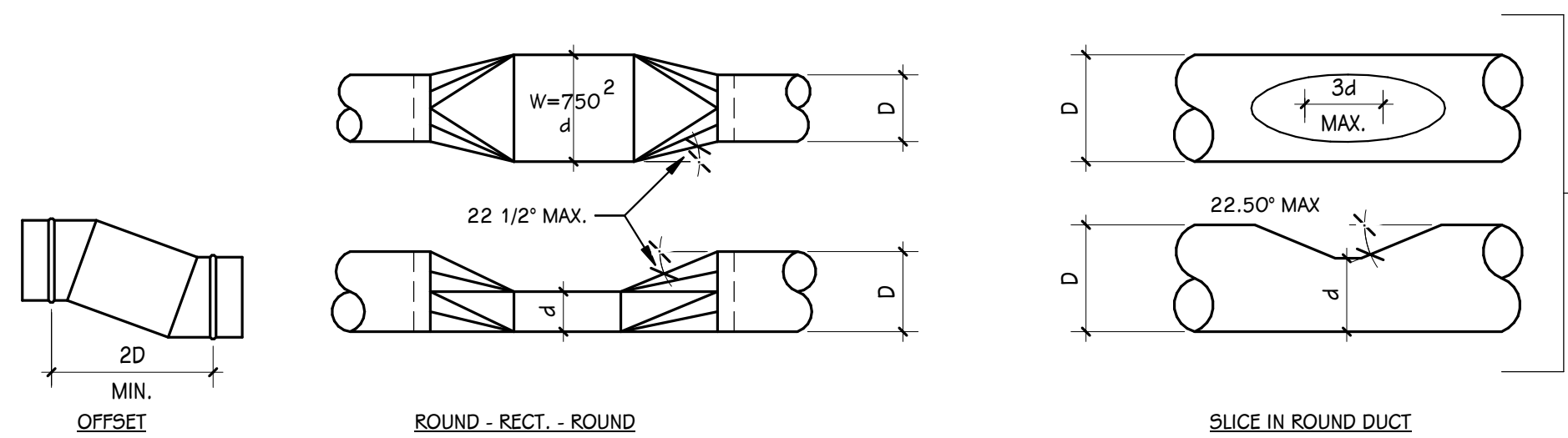
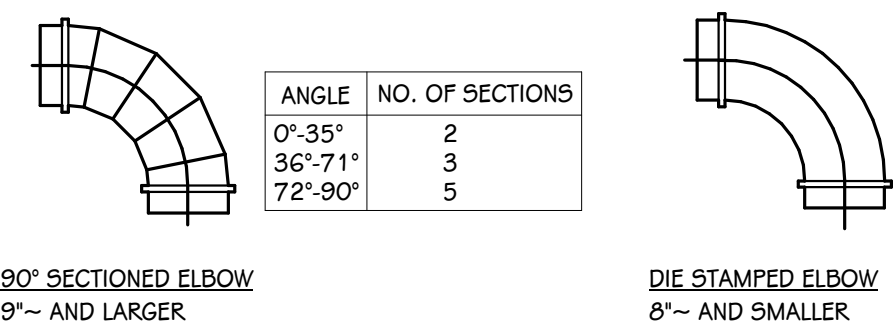
PERRY HAUSMAN
37618
01/16/2026
LICENSED PROFESSIONAL ENGINEER

KEYED NOTES - MECHANICAL - SHEET METAL

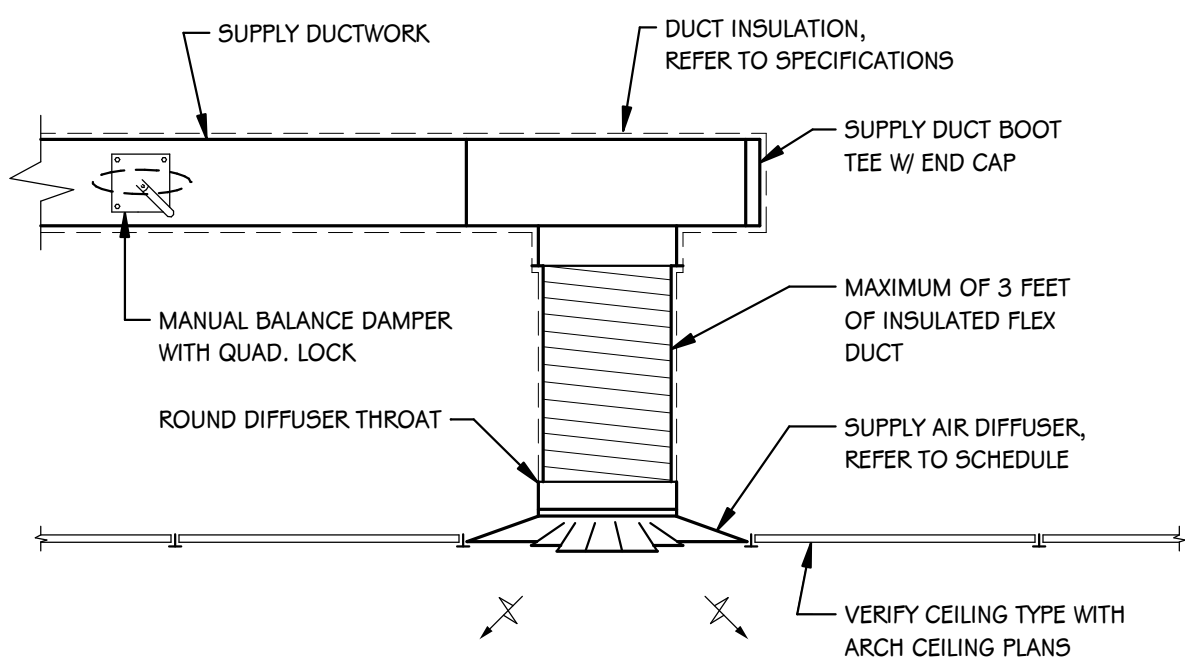
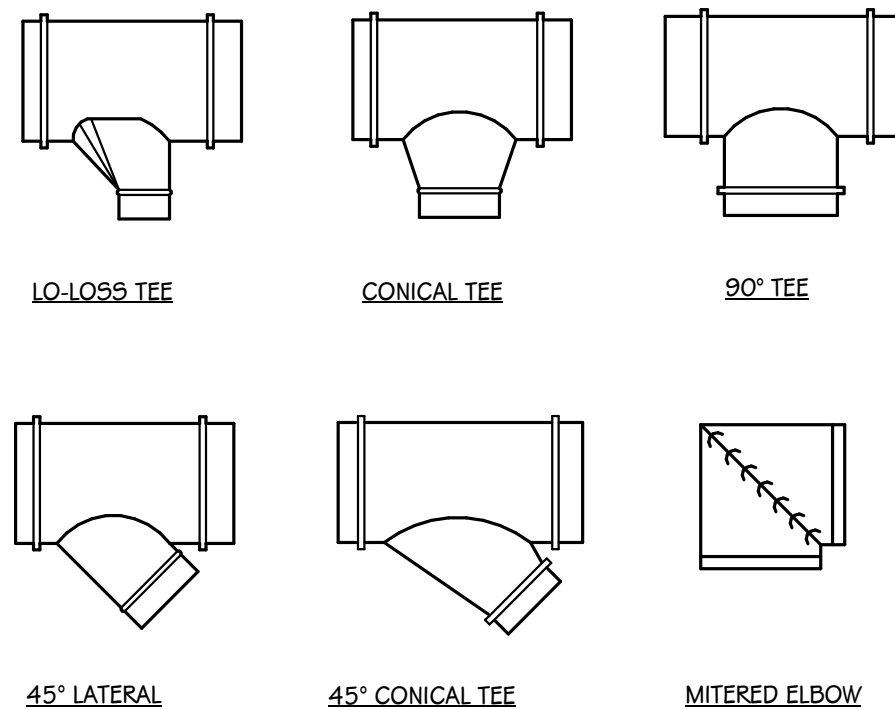
- 1 TIE NEW GRILLE OR DIFFUSER INTO EXISTING DUCTWORK AS INDICATED. BALANCE TO CFM LISTED ON DRAWING.
- 2 REFER TO RETURN AIR BOOT DETAIL.
- 3 DUCT HORIZONTAL THROUGH SOFFIT. TERMINATE WITH SOFFIT VENT.
- 4 CONNECT TO CEILING RETURN PLENUM.
- 5 EXTERIOR DUCTWORK BASED ON "THERMA-DUCT" PHENOLIC DUCT.
- 6 THERMOSTAT.
- 7 REFER TO RETURN AIR PLENUM TRANSFER DUCT DETAIL SHEET M501.

DUCTWORK GENERAL NOTES

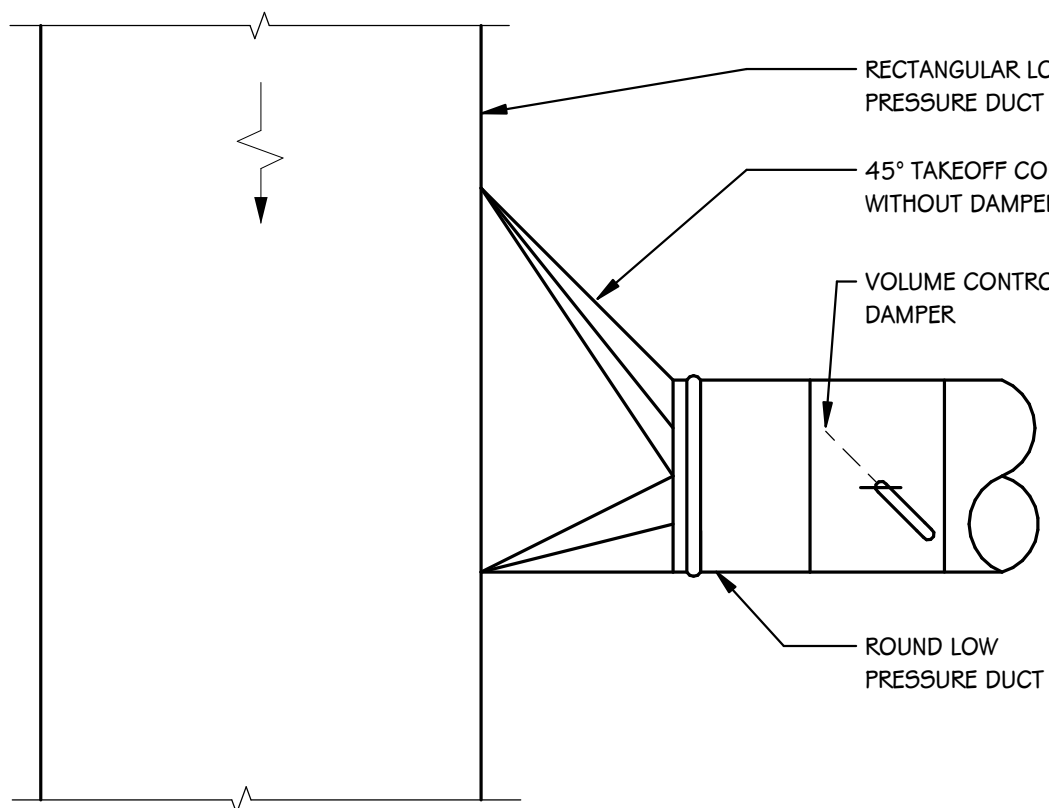
1. ALL JOINTS, CORNERS AND SEAMS TO BE FULLY SEALED WITH SMACNA APPROVED DUCTWORK SEALANT.
2. ALL DUCTWORK IS TO BE LEAK TESTED AT PRESSURES SPECIFIED.
3. ALL RADIUS ELBOWS SHALL HAVE MINIMUM 1.5 CENTERLINE RADIUS
4. USE MITERED ELBOW WITH TURNING VANES WHEN CENTERLINE RADIUS IS LESS THAN 1.5.



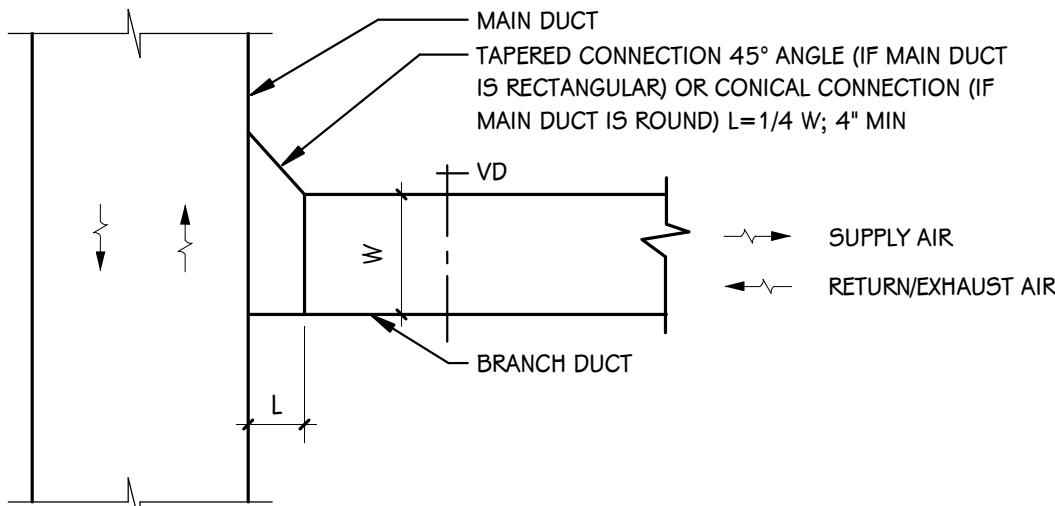
DUCTWORK FITTING DETAILS - ROUND/OVAL
SCALE: NONE



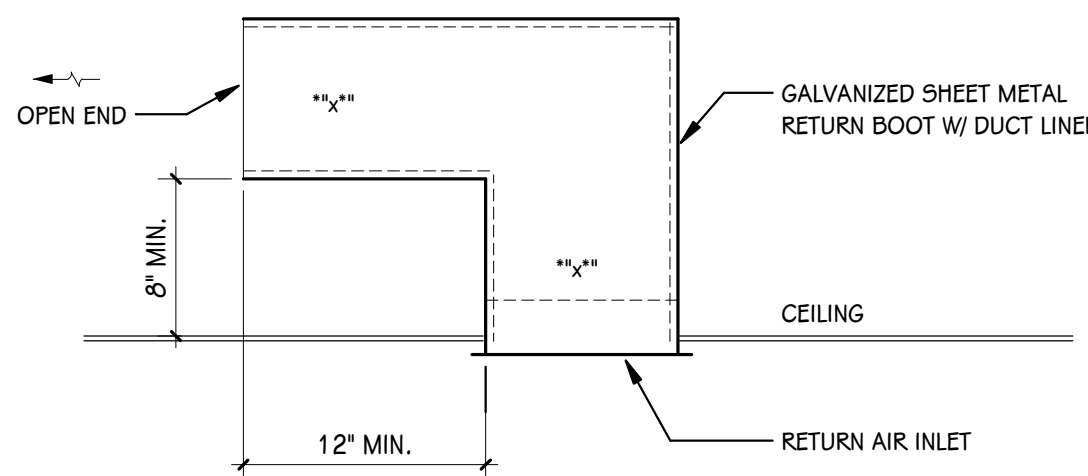
CEILING MOUNTED SUPPLY DIFFUSER DETAIL - TYPICAL
SCALE: NONE



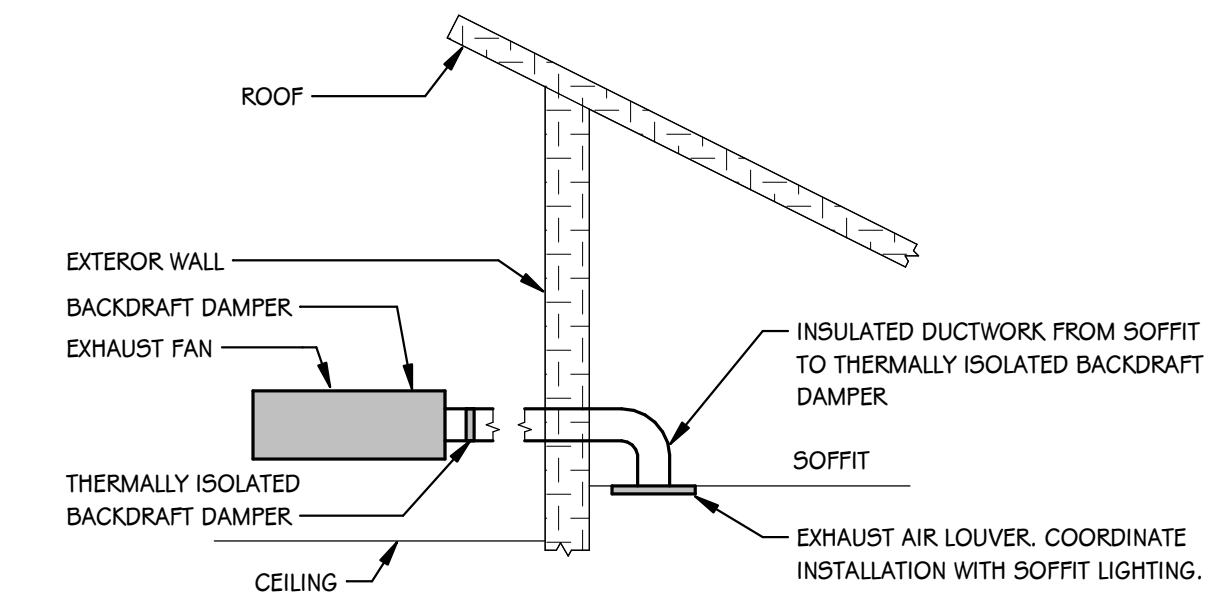
TAKEOFF DETAIL - RECTANGULAR TO ROUND
SCALE: NONE



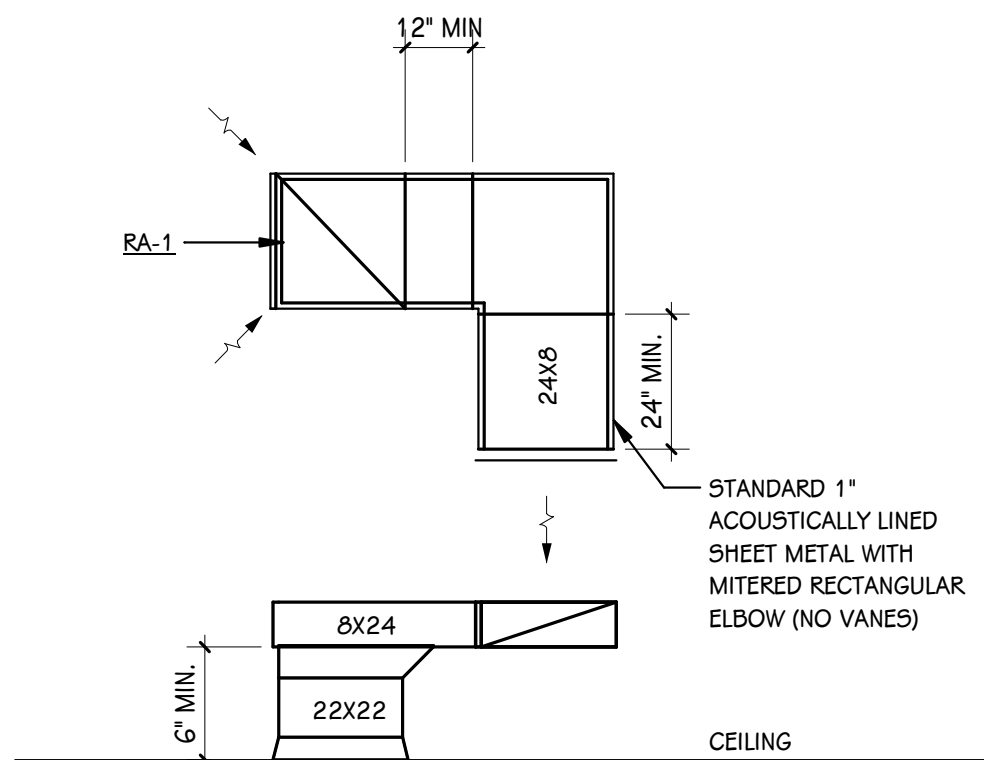
BRANCH TAKE OFFS DETAIL
SCALE: NONE



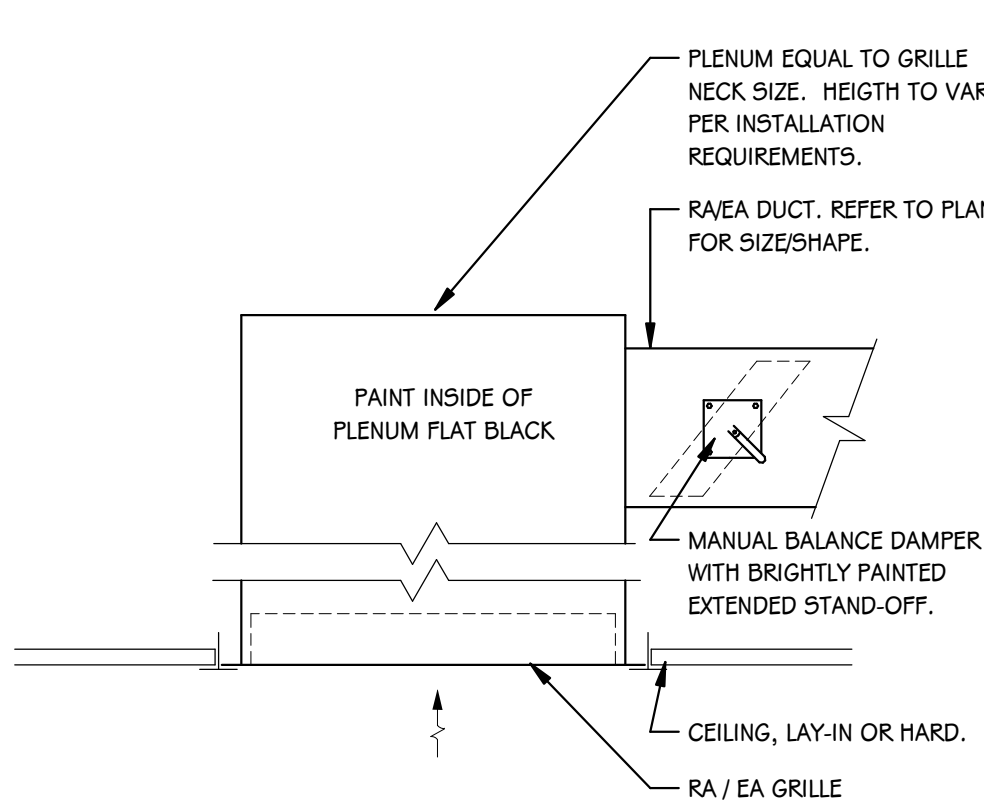
RETURN AIR BOOT DETAIL
SCALE: NONE



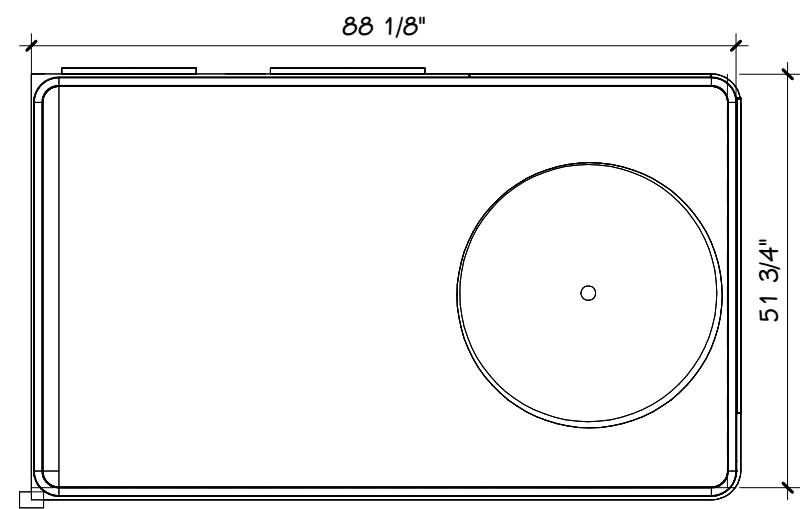
EXHAUST FAN DETAIL - DUCT THROUGH SOFFIT
SCALE: NONE



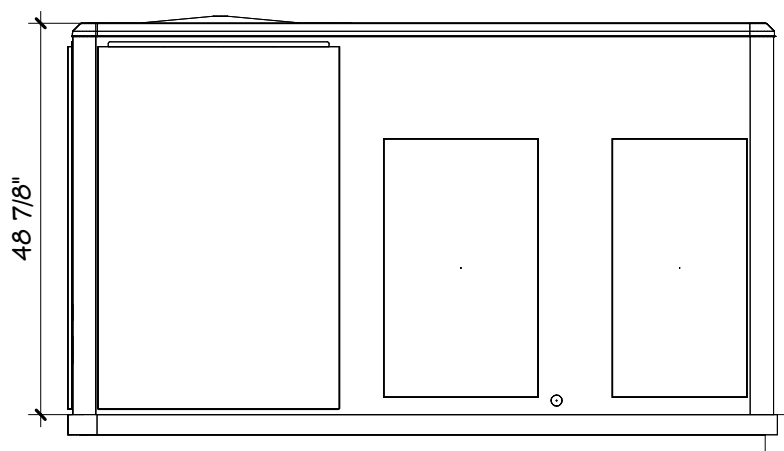
RETURN AIR PLENUM TRANSFER DUCT DETAIL
SCALE: NONE



RETURN / EXHAUST AIR GRILLE PLENUM DETAIL
SCALE: NONE



PLAN - TOP VIEW



ELEVATION - SIDE VIEW

GRADE MOUNTED VAV AIR HANDLING UNIT (RTU-1)

DISCHARGE / INLET SOUND POWER LEVELS (dB)								
	63 HZ	125 HZ	250 HZ	500 HZ	1 KHZ	2 KHZ	4 KHZ	8 KHZ
RETURN IN	75	74	68	57	54	52	51	51
SUPPLY	80	82	74	70	64	61	60	61
OA IN	84	85	84	85	82	76	73	67

AREA SERVED: - ADDITION
TYPE: GRADE MOUNTED, SINGLE ZONE, VARIABLE VOLUME, NATURAL GAS HEATING, DX COOLING, SIDE DISCHARGE
MANUFACTURER: BASED ON "TRANE" MODEL YSK072A350H
WEIGHT: 1133 LB
OUTSIDE AIR: 150 CFM (MIN) - 760 CFM (MAX) OA. PROVIDE WITH ECONOMIZER AND DEMAND CONTROL VENTILATION
LOCATION: GRADE
UNIT MOUNTING: MOUNTED ON CONCRETE EQUIPMENT PAD

FILTER SECTION: 2" PLEATED MERV 13 FILTERS

DX COOLING SECTION: 81.20 TMBH, 59.07 SMBH, 81.60°F EDB, 67.31°F EWB, 53.57°F LDB, 53.50°F LWB, R-454B REFRIGERANT.

NATURAL GAS HEATING SECTION: 150 MBH INPUT, 121.5 MBH OUTPUT, 46.90°F EAT. 103.56°F LAT.

SUPPLY FAN: 1 FAN @ 3 HP, 0.782 BHP, 2000 CFM @ 1" ESP, 1.26¢ TSP, 1068 RPM, 208/3/60.

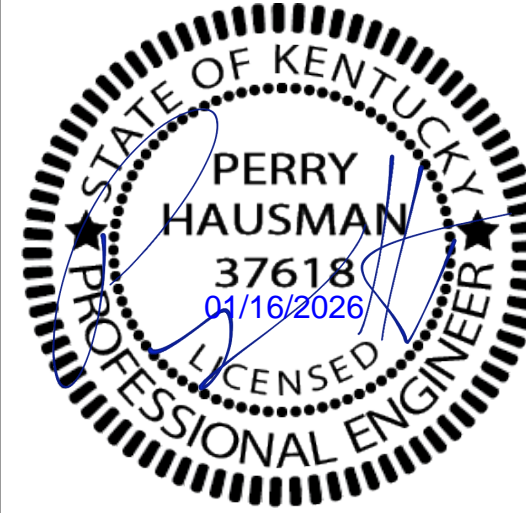
ELECTRICAL: SINGLE POINT POWER CONNECTION WITH FACTORY FUSED DISCONNECT W/ LOCKING HANDLE, 208/3/60, COMPRESSOR 1 RLA 14.8 A, COMPRESSOR 2 RLA 7.4 A, CONDENSER FAN FLA 3.3 A, EVAPORATOR FAN FLA 8.80 A, 38.00 MCA, 50 MOP, 7.6 kW AND DEDICATED 120/1/60 POWER CONNECTION FOR CONVENIENCE RECEPTACLE AND LIGHTS.

OPTIONS: PROVIDE WITH MINIMUM 3 YEAR MANUFACTURE'S WARRANTY, DUCT DETECTORS, 4 CONVENIENCE RECEPTACLE.

EXHAUST FANS												BASED ON GREENHECK	
MARK	MODEL	TYPE	AIR FLOW (CFM)	ESP (IN WC)	SONES	EC MOTOR	NOMINAL HP	BRAKE HP	RPM	VOLTAGE	PHASE	REMARKS	
EF-1	CSP-A390-VG	DIRECT DRIVE	300	0.50	2.2	Yes	0.05	0.05	1249	120	1	PROVIDE VARI-GREEN MOTOR.	

GRILLES, REGISTERS, & DIFFUSERS											BASED ON PRICE	
MARK	PANEL SIZE	FACE SIZE	NECK SIZE	MODEL	CFM RANGE	VCD	THROW	MATERIAL	FINISH	INSTALLATION		
SA-1	24x24	-	6" Ø	ASDA	120-200	NO		ALUMINUM	WHITE	LAY-IN		
SA-2	24x24	-	8" Ø	ASDA	175-315	NO		ALUMINUM	WHITE	LAY-IN		
SA-3	24x24	-	10" Ø	ASDA	210-490	NO		ALUMINUM	WHITE	LAY-IN		
RA-1	24"x24"	-	22"x22"	80	500 - 2000	NO	-	ALUMINUM	WHITE	LAY-IN		
EA-1	12"x12"	-	12"x12"	80	0-500	NO	-	ALUMINUM	WHITE	SURFACE		

PUMPS											BASED ON BELL & GOSSETT
MARK	MODEL	FLOW RATE (GPM)	HEAD (FT)	MOTOR DATA			SYSTEM	LOCATION	REMARKS		
				RPM	VOLTAGE	PHASE					
CP-1	NBF-85A/W	4	5	2800	120	1	HWR	MECHANICAL	CONTROLLED BY AQUASTAT. LEAD-FREE BRONZE CIRCULATOR.		



ISSUED FOR DATE

PROJECT TITLE
TEAMSTERS LOCAL 2727 Building Addition

OWNER
TEAMSTERS LOCAL 2727

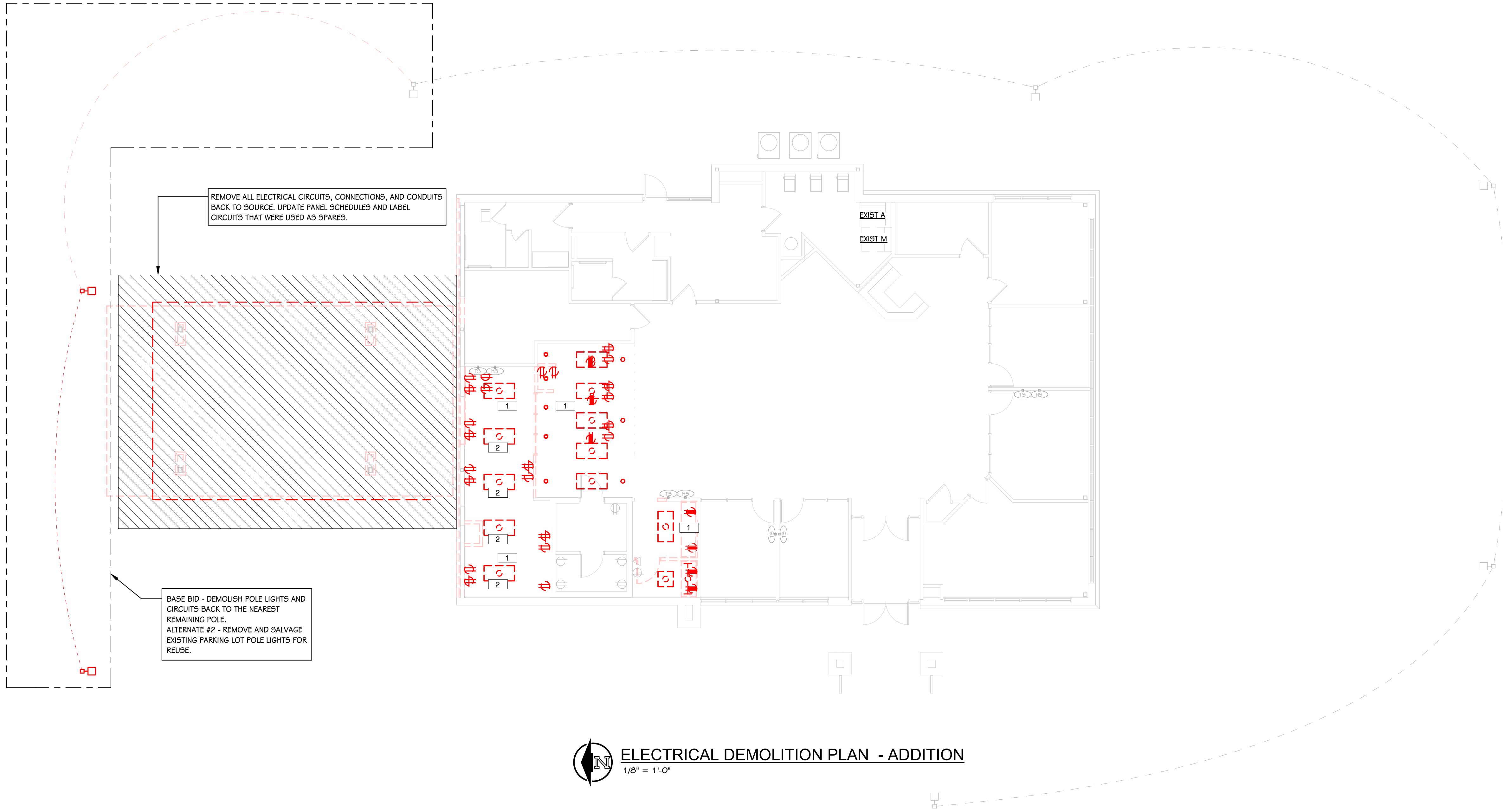
SHEET TITLE
MECHANICAL SCHEDULES AND DETAILS

4810 N Preston Hwy
Shepardsville, KY

DATE
JANUARY 16, 2026

SHEET NUMBER
M 501
25-376.000

[illegible]



ELECTRICAL DEMOLITION PLAN - ADDITION

1/8" = 1'-0"

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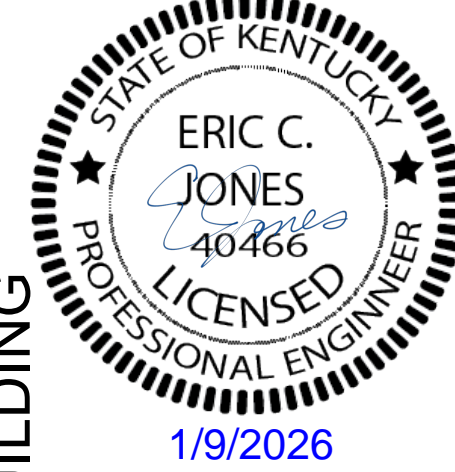
KEYED NOTES - ELECTRICAL - DEMOLITION	
1	REMOVE ALL ELECTRICAL CIRCUITS, CONNECTIONS, AND CONDUITS BACK TO SOURCE. UPDATE PANEL SCHEDULES AND LABEL CIRCUITS THAT WERE USED AS SPARES.
2	SALVAGE LIGHT FIXTURE FOR REUSE.

SHEET TITLE
ELECTRICAL DEMOLITION PLAN -
ADDITION

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727 BUILDING
ADDITION

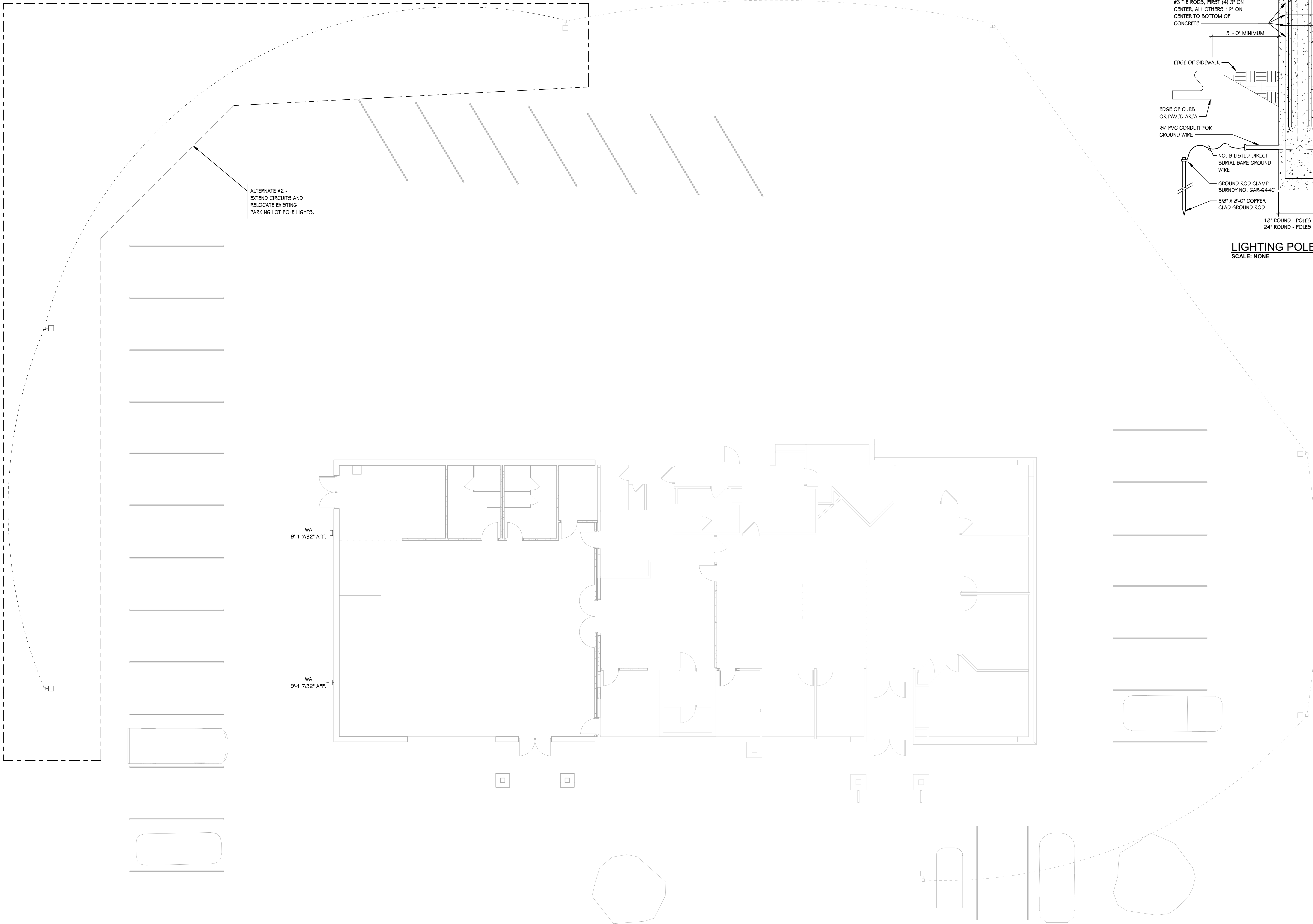
ISSUED FOR
DATE



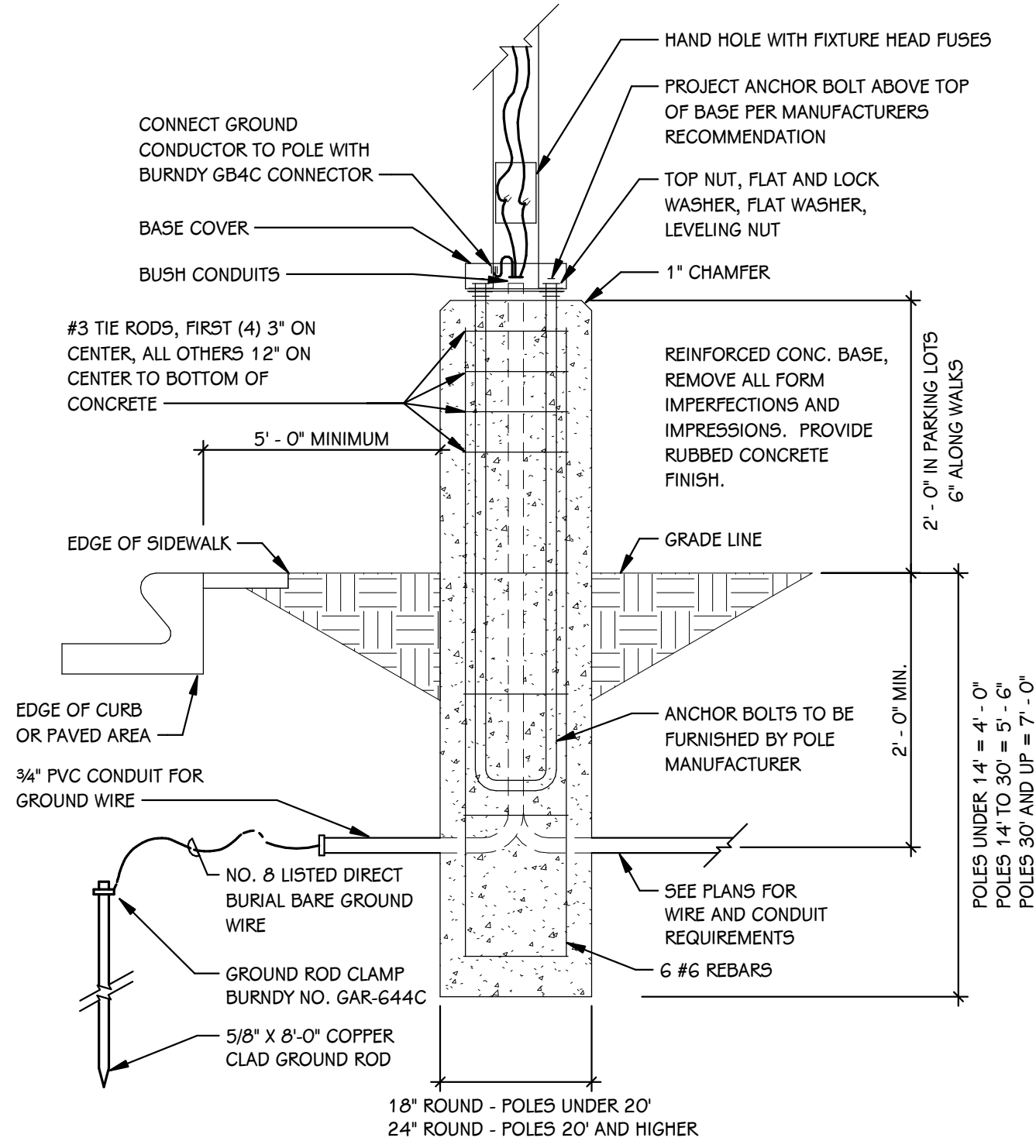
DATE
JANUARY 9, 2026

Shepardsville, Kentucky

SHEET NUMBER
ED 101A
25-376.000

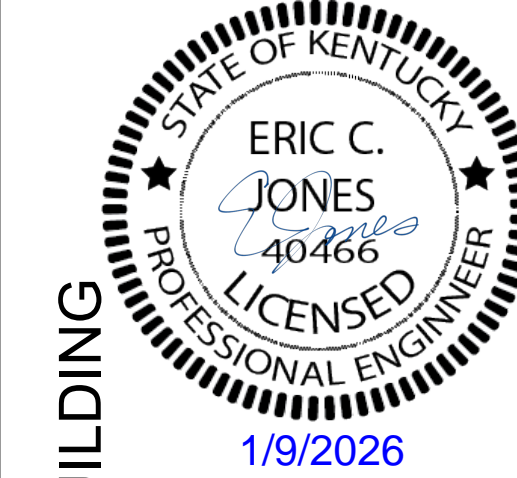


 **ELECTRICAL SITE PLAN**
1/8" = 1'-0"



LIGHTING POLE BASE DETAIL
SCALE: NONE

ISSUED FOR DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727 BUILDING
ADDITION

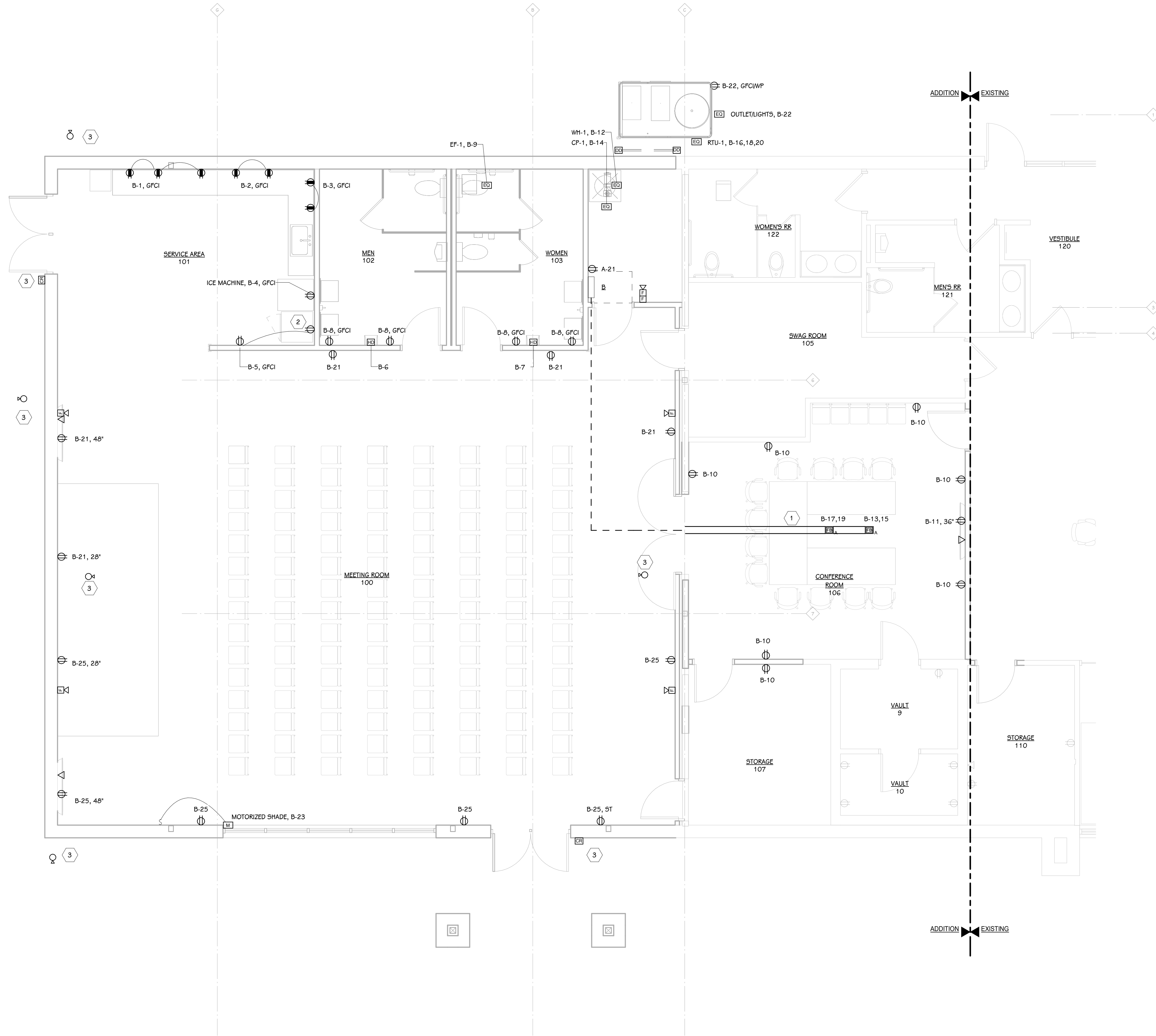
OWNER
TEAMSTERS LOCAL 2727

Shepardsville, Kentucky

SHEET TITLE
ELECTRICAL SITE PLAN

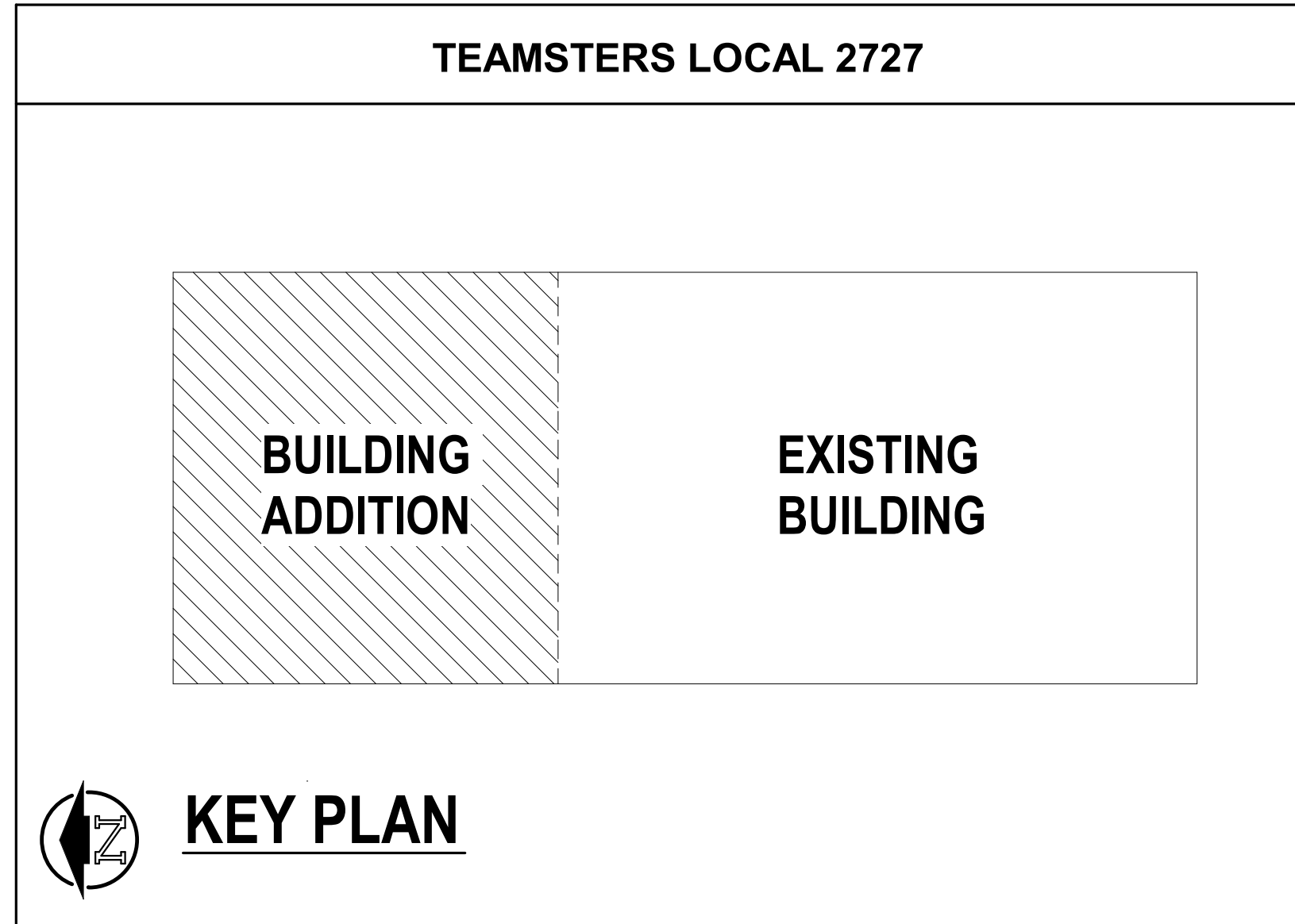
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JANUARY 9, 2026

SHEET NUMBER
ES 101
25-376.000

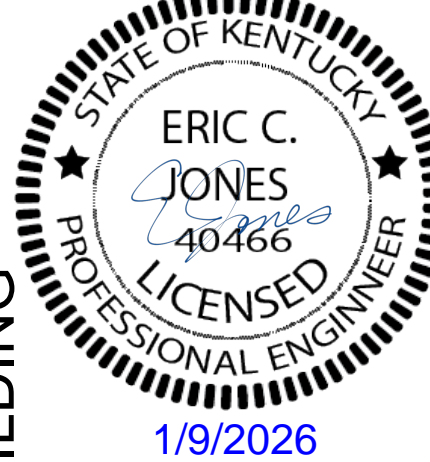


 **POWER PLAN - ADDITION**
1/4" = 1'-0"

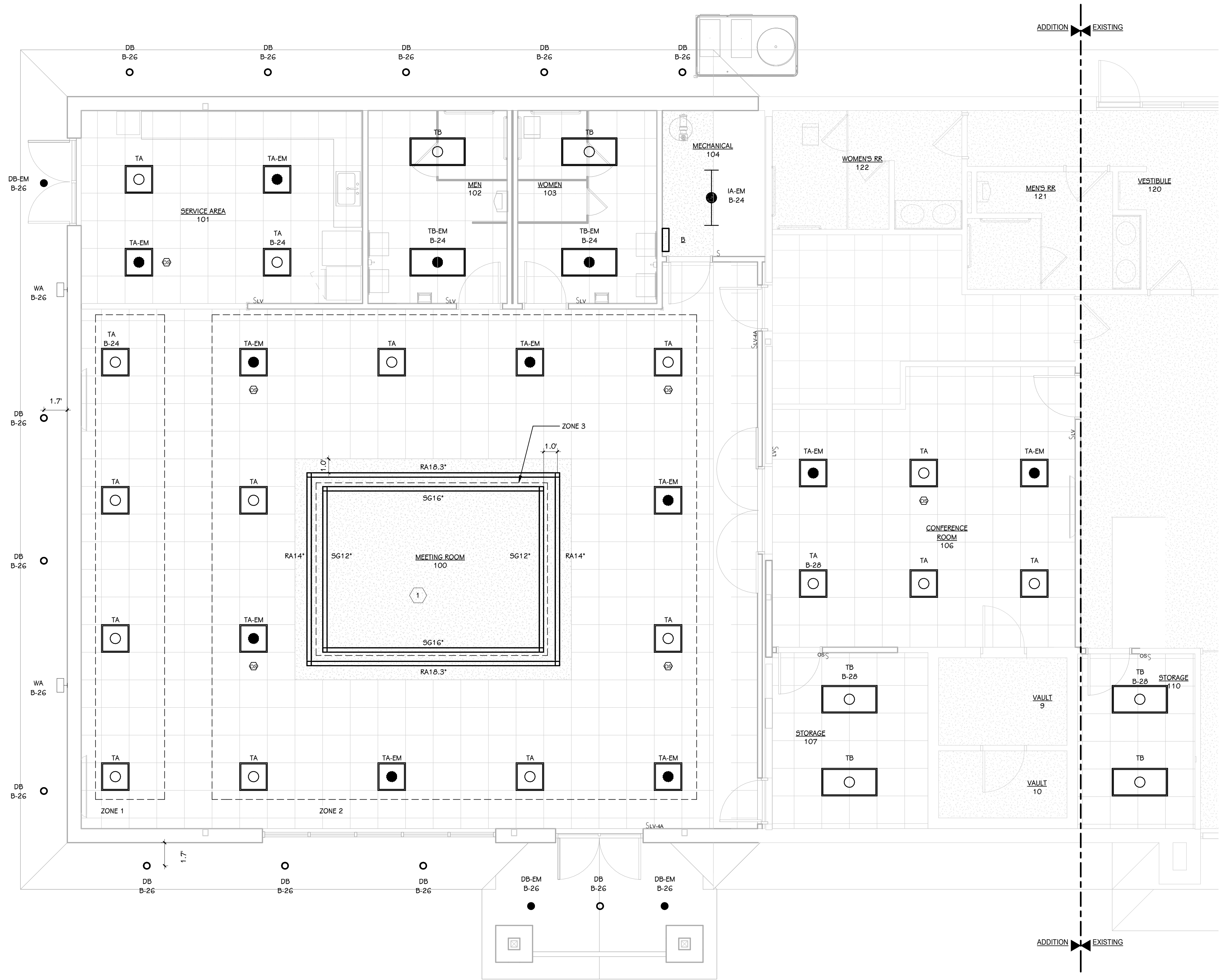
- KEYED NOTES - ELECTRICAL - POWER**
- 1 SCAN SLAB WITH GROUND PENETRATING RADAR (GPR) AND SAW CUT / FLOOR CORE PRIOR TO INSTALLATION. COORDINATE FINAL LOCATION WITH DIMENSIONED FURNITURE PLANS PRIOR TO SAW CUTTING FLOOR OR INSTALLING FLOOR BOX.
 - 2 RECEPTACLES FED FROM LOAD SIDE OF GFCI RECEPTACLE
 - 3 SECURITY DEVICE SHOWN FOR REFERENCE. VERIFY WITH OWNER FOR EXACT DETAILS AND FINAL LOCATION.



 **KEY PLAN**

SHEET TITLE POWER PLAN - ADDITION	OWNER TEAMSTERS LOCAL 2727	PROJECT TITLE TEAMSTERS LOCAL 2727 BUILDING ADDITION	ISSUED FOR 
	DATE JANUARY 9, 2026		
SHEET NUMBER E 101A	OWNER Shepardsville, Kentucky		
25-376.000			

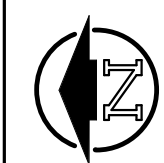
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 **LIGHTING PLAN - ADDITION**
1/4" = 1'-0"

KEYED NOTES - ELECTRICAL - LIGHTING

1 REFER TO DETAIL 2 ON A201 SHEET FOR ADDITIONAL DETAILS.



KEY PLAN

TEAMSTERS LOCAL 2727

**BUILDING
ADDITION**

**EXISTING
BUILDING**

SHEET TITLE
LIGHTING PLAN - ADDITION

OWNER
TEAMSTERS LOCAL 2727

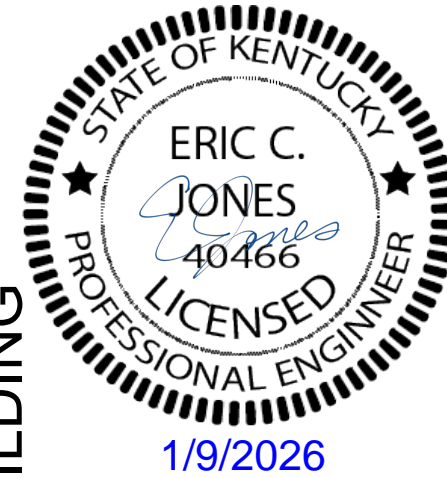
PROJECT TITLE
**TEAMSTERS LOCAL 2727 BUILDING
ADDITION**

ISSUED FOR

SHEET NUMBER
E 201A

DATE
JANUARY 9, 2026

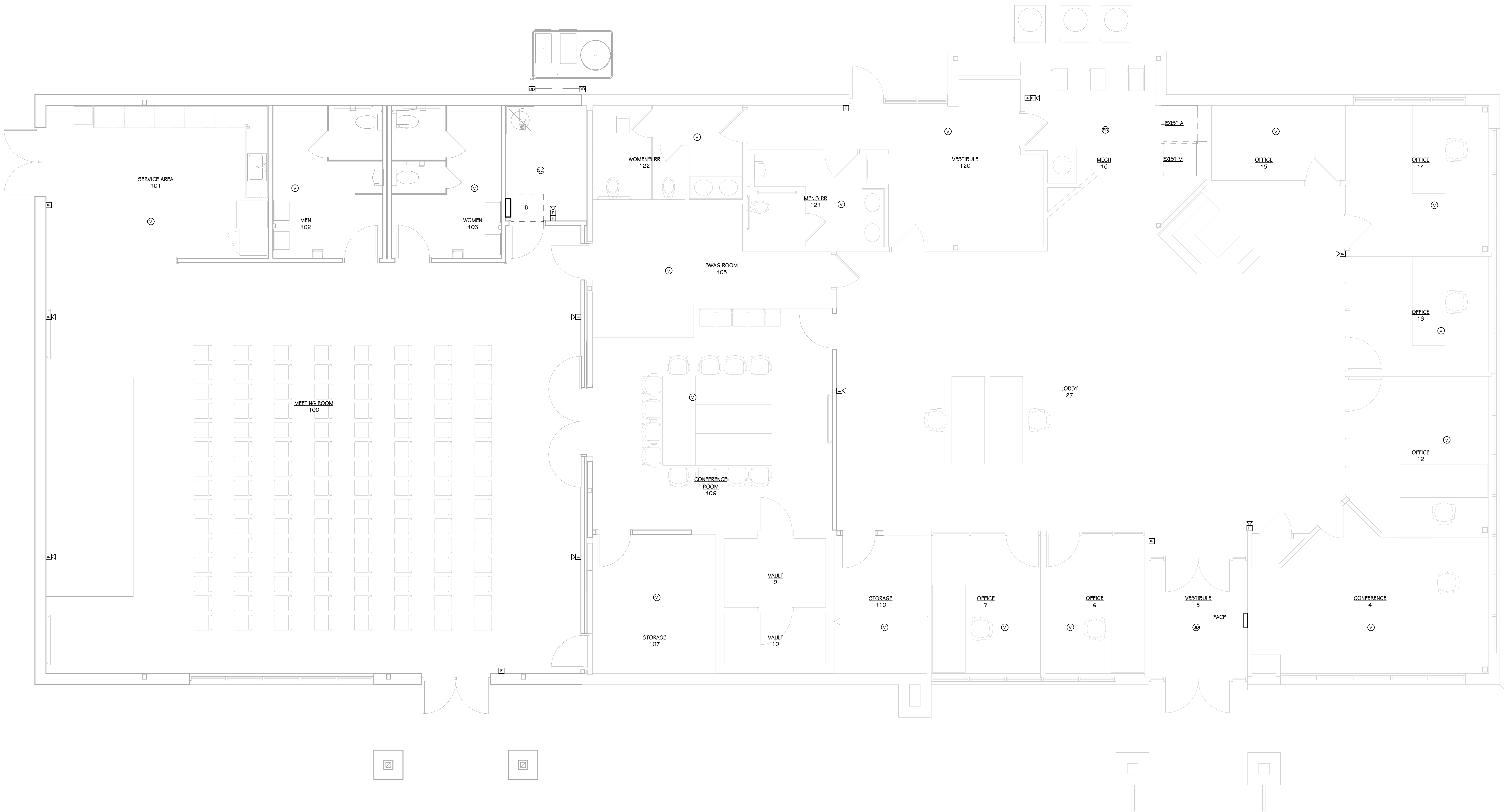
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OVERALL FIRST FLOOR FIRE ALARM PLAN

1/4" = 1'-0"

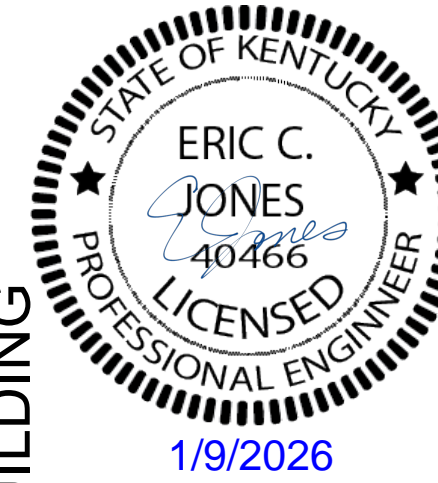
- KEYED NOTES - ELECTRICAL - POWER**
1. SCAN SLAB WITH GROUND PENETRATING RADAR (GPR) AND SAW CUT / FLOOR CORE PRIOR TO INSTALLATION. COORDINATE FINAL LOCATION WITH DIMENSIONED FURNITURE PLANS PRIOR TO SAW CUTTING FLOOR OR INSTALLING FLOOR BOX.
 2. RECEPTACLES FED FROM LOAD SIDE OF GFCI RECEPTACLE
 3. SECURITY DEVICE SHOWN FOR REFERENCE. VERIFY WITH OWNER FOR EXACT DETAILS AND FINAL LOCATION.

SHEET TITLE
OVERALL FIRE ALARM PLAN

OWNER
TEAMSTERS LOCAL 2727

PROJECT TITLE
TEAMSTERS LOCAL 2727 BUILDING
ADDITION

ISSUED FOR DATE



SHEET NUMBER
E 301
25-376.000

DATE
JANUARY 9, 2026

Shepardsville, Kentucky

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ELECTRICAL HVAC FEEDER SCHEDULE										
DESCRIPTION	FED FROM	DISCONNECT MEANS	CURRENT (FLA)	DEMAND (FLA)	BREAKER/P OLES	FEEDER				NOTES
						# OF SETS	WIRE	GROUND	EMT	
208 V										
HVAC - RTU-1	B	NEMA 3R 60A FDS	34 A	34 A	50 A/3	1 SET	4 #6	#8 GND.	1"	1.5%
120 V										
HVAC - CP-1	B	NON-FUSED	1 A	1 A	20 A/1	1 SET	2 #12	#12 GND.	3/4"	1.4%
HVAC - EF-1	B	PROVIDED BY DIV 23	2 A	2 A	20 A/1	1 SET	2 #12	#12 GND.	3/4"	1.5%
HVAC - WATER HEATER	B	NEMA 3R 30A FDS	21 A	21 A	30 A/1	1 SET	2 #10	#10 GND.	3/4"	3.1%

NOTES:

GENERAL: CONDUIT SIZES BASED ON EMT AND COPPER CONDUCTORS UNLESS OTHERWISE NOTED. UPSIZE AS REQUIRED WHERE PVC OR GALVANIZED IS USED OR REQUIRED PER SPECIFICATIONS.

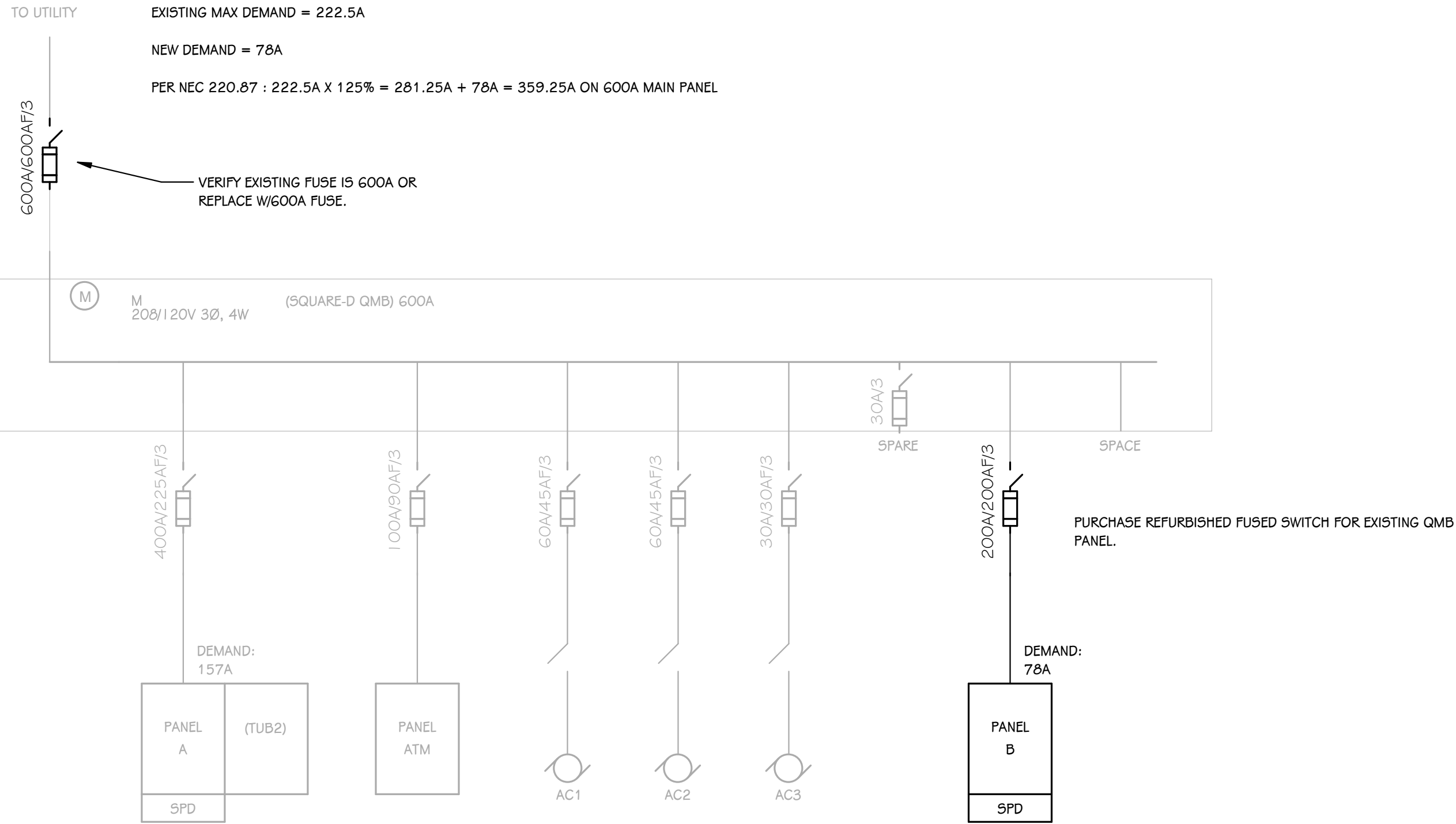
1 PROVIDE DRY CONTACT FROM GENERATOR ATS TO ELEVATOR CONTROLLER TO INDICATE GENERATOR RUNNING ON EMERGENCY POWER.

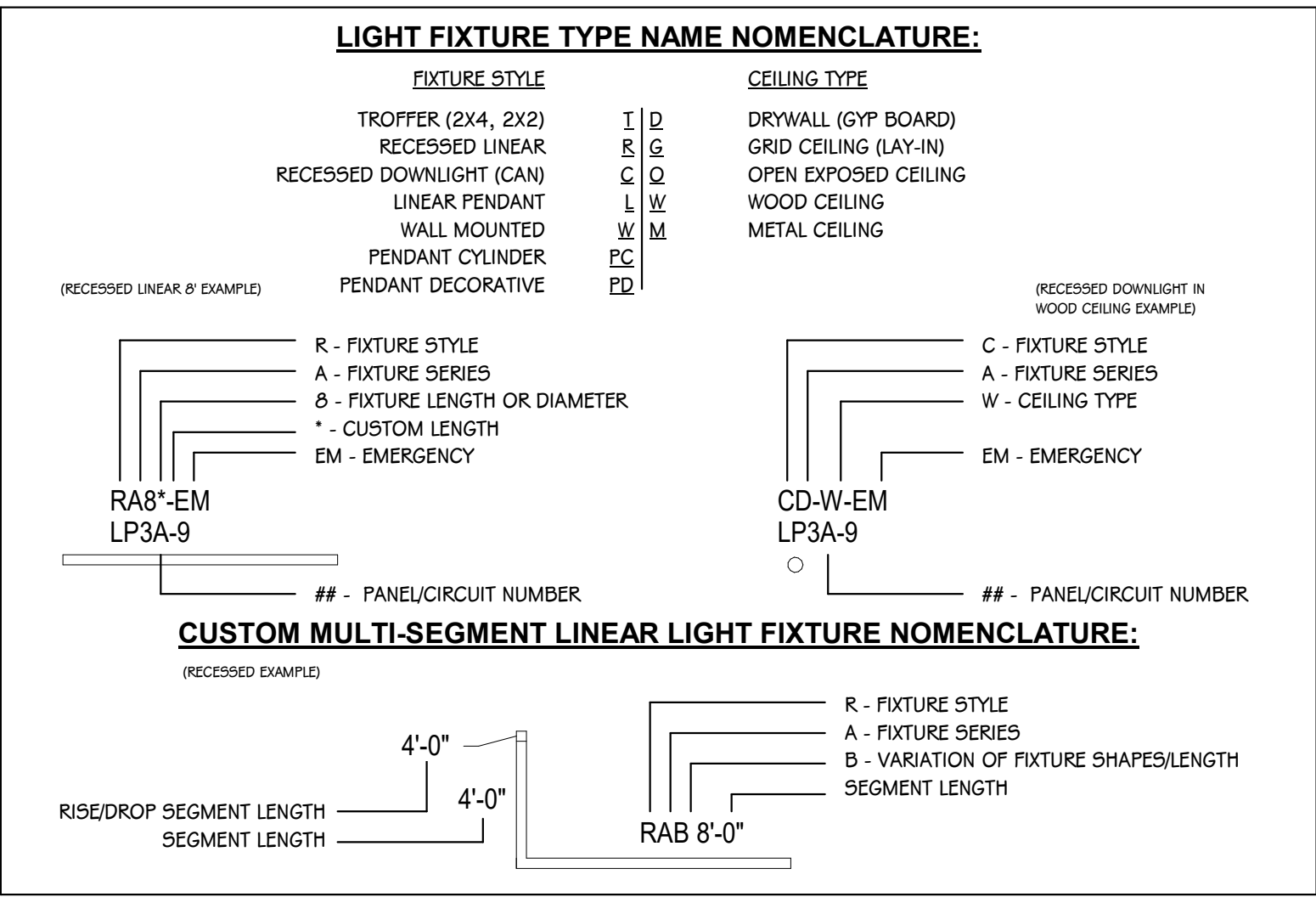
2 PROVIDE RAINTIGHT DISCONNECT AT EQUIPMENT ON ROOF AND REMOTE STARTER IN ELECTRICAL ROOM.

3 PROVIDE CONNECTION TO ROOFTOP EQUIPMENT AND INTERCONNECT BETWEEN OUTSIDE UNIT AND INTERIOR UNIT. REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE RAINTIGHT DISCONNECT ON EXTERIOR UNIT.

4 PROVIDE COPPER CONDUCTORS ONLY FOR CHILLER, ALUMINUM CONDUCTORS ARE NOT ACCEPTABLE FOR USE WITH CHILLER CONNECTIONS. DO NOT INCLUDE CHILLER FEEDS IN ANY ALUMINUM FEEDER ALTERNATES (VOLUNTARY OR ON DRAWINGS).

PANELBOARD " B" LOAD SCHEDULE										
PANEL: B			MOUNTING: SURFACE			VOLTAGE: 208/120V, 3PH, 4W				
LOCATION: MECHANICAL 104 / Level 1			AMPS: 225 A MLO			FED FROM: M				
ADDED ACCESSORIES: SPD			FEED-THRU LUGS... No			A.I.C. VALUE: 9438 A				
(PROVIDE 25% HIGHER A.I.C. RATING)										
	CIRCUIT DESCRIPTION	TRIP (A)	POLES	A (VA)	B (VA)	C (VA)	POLES	TRIP (A)	CIRCUIT DESCRIPTION	
1	RECEPTACLE - SERVICE AREA 101 NW WALL	20	1	540	360		1	20	RECEPTACLE - SERVICE AREA 101 NE WALL	
3	RECEPTACLE - SERVICE AREA 101 E WALL	20	1		360	180	1	20	RECEPTACLE - ICE MACHINE	
5	RECEPTACLE - SERVICE AREA 101 FRIDGE	20	1			360	900	1	20	POWER - MEN 102 HAND DRYER
7	POWER - WOMEN 103 HAND DRYER	20	1	900	720			1	20	RECEPTACLE - Room 102, 103 RECEPTACLES
9	HVAC - EF-1	20	1		180	1260		1	20	RECEPTACLE - CONFERENCE ROOM 106
11	RECEPTACLE - CONFERENCE ROOM 106 TV	20	1			180	2500	1	30	HVAC - WATER HEATER
13	RECEPTACLE - CONFERENCE ROOM 106...	20	2	500	120			1	20	HVAC - CP-1
15	--	--	--		500	4119		3	50	HVAC - RTU-1
17	RECEPTACLE - CONFERENCE ROOM 106...	20	2			500	4119	--	--	--
19	--	--	--	500	4119			--	--	--
21	RECEPTACLE - MEETING ROOM 100	20	1		900	180		1	20	HVAC - OUTLET/LIGHTS
23	POWER - MOTOR SHADE	20	1			144	1615	1	20	LIGHTING - ROOMS 100, 101, 102, 103, 104
25	RECEPTACLE - MEETING ROOM 100	20	1	1080	338			1	20	LIGHTING - EXTERIOR
27	FACP	20	1		500	410		1	20	LIGHTING - ROOMS 106, 107, 110
29	SPARE	20	1			0	0	1	20	SPARE
31	SPARE	20	1	0	0			1	20	SPARE
33	SPARE	20	1		0	0		1	20	SPARE
35	SPACE	--	1			--	--	1	--	SPACE
37	SPD	30	3	0	--			1	--	SPACE
39	--	--	--		0	--		1	--	SPACE
41	--	--	--			0	--	1	--	SPACE
TOTAL LOAD:				9177 VA	8589 VA	10318 VA				
ADDITIONAL FEED THRU LUGS LOAD (IF APPLICABLE):				0 VA	0 VA	0 VA				
TOTAL AMPS:				77 A	72 A	87 A				
LOAD CLASSIFICATION	CONNECTED LOAD	DEMAND FACTOR	ESTIMATED DEMAND	PANEL TOTALS						
HVAC -	15157 VA	100.00%	15157 VA							
LIGHTING -	2363 VA	100.00%	2363 VA	TOTAL CONNECTED LOAD: 28084 VA						
Other	500 VA	100.00%	500 VA	TOTAL ESTIMATED DEMAND: 28084 VA						
POWER -	1944 VA	100.00%	1944 VA	TOTAL CONNECTED LOAD (A): 78 A						
RECEPTACLE -	8120 VA	100.00%	8120 VA	TOTAL ESTIMATED DEMAND...: 78 A						
NOTES:										
RECEPTACLE DEMAND FACTOR = FIRST 10kVA X 100% + 50% OF REMAINDER										
AIC RATING IS CALCULATED VALUE, PROVIDE IC RATING AT LEAST 25% HIGHER AS PER SPECIFICATIONS.										



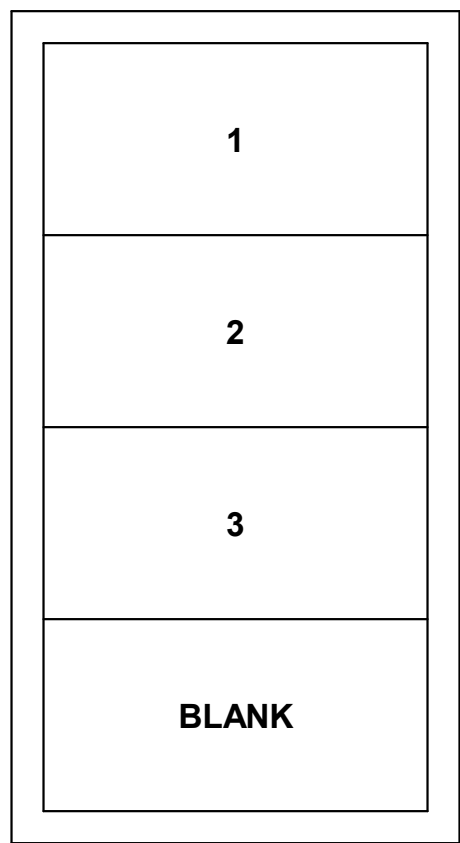


TYPE	SERIES	DESCRIPTION	MOUNTING	CEILING TYPE	COLOR TEMP	DRIVER	WATTS	MANUFACTURER	NOTES
DB	DB	RECESSED DOWNLIGHT	RECESSED	METAL SYSTEM	4000K	0-10V	20 VA	GOTHAM: #EVO6-40/20-AR-FL159-MD-MVOLT-GZ10-XX-E10W	1, 2, 6
IA	IA	INDUSTRIAL PENDANT LINEAR, 4' - 0" LONG	CHAIN	EXPOSED DECK	4000K	0-10V	32 VA	LITHONIA: #CLX-LED-LINEAR-L48-5000LM-HEF-PDL-MVOLT-GZ10-40K-80CRI-E10W	1, 2, 6
RA14"	RA	RECESSED LINEAR, 13' - 11 3/4" LONG	RECESSED	RECESSED	0-10V	98 VA	98 VA	LITHONIA: #RP4-R-D-XX-H-840-F-96LG-277-SC-FC-DALI-1%-C-PE-FB	1, 2, 3, 4, 6
RA18.3"	RA	RECESSED LINEAR, 18' - 3 3/4" LONG	RECESSED	RECESSED	0-10V	128 VA	128 VA	LITHONIA: #RP4-R-D-XX-H-840-F-96LG-277-SC-FC-DALI-1%-C-PE-FB	1, 2, 3, 4, 6
SG12"	SG	SURFACE COVE LINEAR, 12' - 0" LONG	SURFACE	SURFACE	0-10V	32 VA	32 VA	LITHONIA: #ALC-APD-LED-90CRI-350-40-XX-120-D1-1-COVH-W	1, 2, 3, 4, 6
SG16"	SG	SURFACE COVE LINEAR, 16' - 0" LONG	SURFACE	SURFACE	0-10V	42 VA	42 VA	LITHONIA: #ALC-APD-LED-90CRI-350-40-XX-120-D1-1-COVH-W	1, 2, 3, 4, 6
TA	TA	RECESSED TROFFER, 2' - 0" LONG	RECESSED	RECESSED	0-10V	41 VA	41 VA	LITHONIA: #2BLT2-40L-ADP-MVOLT-GZ10-LP840-WH-E10W	1, 2
TA	TA	RECESSED TROFFER, 2' - 0" LONG	RECESSED	ACoustic GRID	4000K	41 VA	41 VA	LITHONIA: #2BLT2-40L-ADP-MVOLT-GZ10-LP840-WH-E10W	1, 2
TB	TB	RECESSED TROFFER, 4' - 0" LONG	RECESSED	RECESSED	0-10V	41 VA	41 VA	LITHONIA: #2BLT4-40L-ADP-MVOLT-GZ10-LP840-WH-E10W	1, 2
TB	TB	RECESSED TROFFER, 4' - 0" LONG	RECESSED	ACoustic GRID	4000K	0-10V	41 VA	LITHONIA: #2BLT4-40L-ADP-MVOLT-GZ10-LP840-WH-E10W	1, 2
WA	WA	LED WALL PACK	WALL	N/A	4000K	0-10V	21 VA	LITHONIA: #DSW1 LED-P3-80CRI-T2M-MVOLT-SRM-DBLXD	1, 2

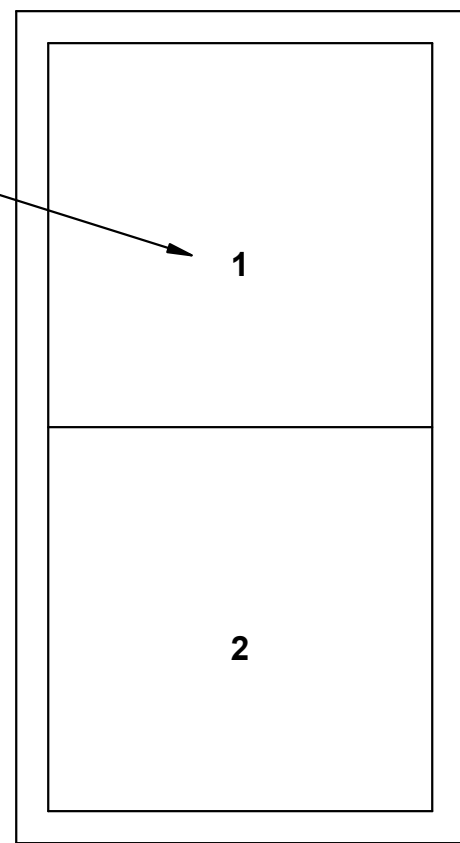
- NOTES:
- * FIELD COORDINATE AND FIELD MEASURE FOR CUSTOM LENGTH FIXTURES, LENGTHS PROVIDED ARE ROUNDED AND DEPEND ON FIELD CONDITIONS.
 - 1 ALL LED FIXTURES TO HAVE WARRANTY TO MEET OR EXCEED WARRANTY INCLUDED IN BASIS OF DESIGN. FIXTURES LISTED AS EQUALS SHALL MEET DELIVERED LUMENS, CRI, EFFICACY AND OPTIONS OF THAT SPECIFIED. REFER TO SPECIFICATIONS 265100 AND 265600 FOR ADDITIONAL REQUIREMENTS.
 - 2 THE MOUNTING DESCRIPTION IS GENERAL. REFER TO SHOP DRAWINGS AND MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR SPECIFIC MOUNTING DETAILS.
 - 3 ONLY SUBMIT ONE SET OF LINEAR FIXTURE INFORMATION PER FIXTURE SERIES WHERE VARIOUS LENGTH FIXTURES OF SAME SERIES ARE USED.
 - 4 FIXTURE LENGTH PER LIGHTING FLOOR PLANS. FIELD VERIFY BEFORE ORDERING AND COORDINATE WITH FRAMING CONTRACTOR FOR HOLD DIMENSIONS.
 - 5 EXIT SIGNS DIRECTIONAL ARROWS TO BE CONFIRMED ON PLANS PRIOR TO ORDERING. ARROWS ON GRAPHICS MAY NOT MATCH THOSE OF DESCRIPTION DUE TO FACE DIRECTION IN REFERENCE.
 - 6 FIXTURES WITH THE CENTER CIRCLE SHADED AND/OR WITH TAG ENDING IN *-EM* SHALL HAVE A SELF-CONTAINED EMERGENCY BATTERY PACK OPERATING TWO LAMPS AT A MINIMUM OF 1100 LUMENS FOR 90 MINUTES. FIXTURES WITH THE CENTER CIRCLE COMPLETELY SHADED SHALL BE ON 24 HOURS. ON WIRE BATTERY AND BALLAST SO FIXTURE TURNS 'ON' WHEN POWER FAILS.

ROOM #	ROOM NAME	AREA	ALLOWANCES (2019 ASHRAE)		ACTUAL LIGHTING POWER		IES 10 TARGET FC	OCCUPANCY SENSOR		MANUAL CONTROL		CONTROLLED RECEPTACLE
			LPD	WATTS	LPD	WATTS		AUTO ON	AUTO OFF	SWITCH REQUIRED	DIMMER	
110	STORAGE	107	0.38 W/ft²	41 VA	0.76 W/ft²	82 VA	10	-	100% AFTER 20 MINS	YES	WITHIN A DAYLIGHT ZONE	NO
102	MEN	141	0.63 W/ft²	89 VA	0.58 W/ft²	82 VA	15	100%	100% AFTER 20 MINS	YES	-	NO
103	WOMEN	141	0.63 W/ft²	89 VA	0.58 W/ft²	82 VA	15	100%	100% AFTER 20 MINS	YES	-	NO
107	STORAGE	143	0.38 W/ft²	55 VA	0.57 W/ft²	82 VA	10	-	100% AFTER 20 MINS	YES	WITHIN A DAYLIGHT ZONE	NO
104	MECHANICAL	78	0.43 W/ft²	34 VA	0.41 W/ft²	32 VA	20	-	YES	YES	-	NO
101	SERVICE AREA	289	0.59 W/ft²	171 VA	0.57 W/ft²	164 VA	5	50%	100% AFTER 20 MINS	YES	WITHIN A DAYLIGHT ZONE	YES
100	MEETING ROOM	1864	0.97 W/ft²	1808 VA	0.67 W/ft²	1255 VA	30	50%	100% AFTER 20 MINS	YES	WITHIN A DAYLIGHT ZONE	YES
106	CONFERENCE ROOM	415	0.97 W/ft²	403 VA	0.59 W/ft²	246 VA	30	50%	100% AFTER 20 MINS	YES	WITHIN A DAYLIGHT ZONE	YES
Level 1		3179		2688 VA		2025 VA						
Grand total		3179		2688 VA		2025 VA						

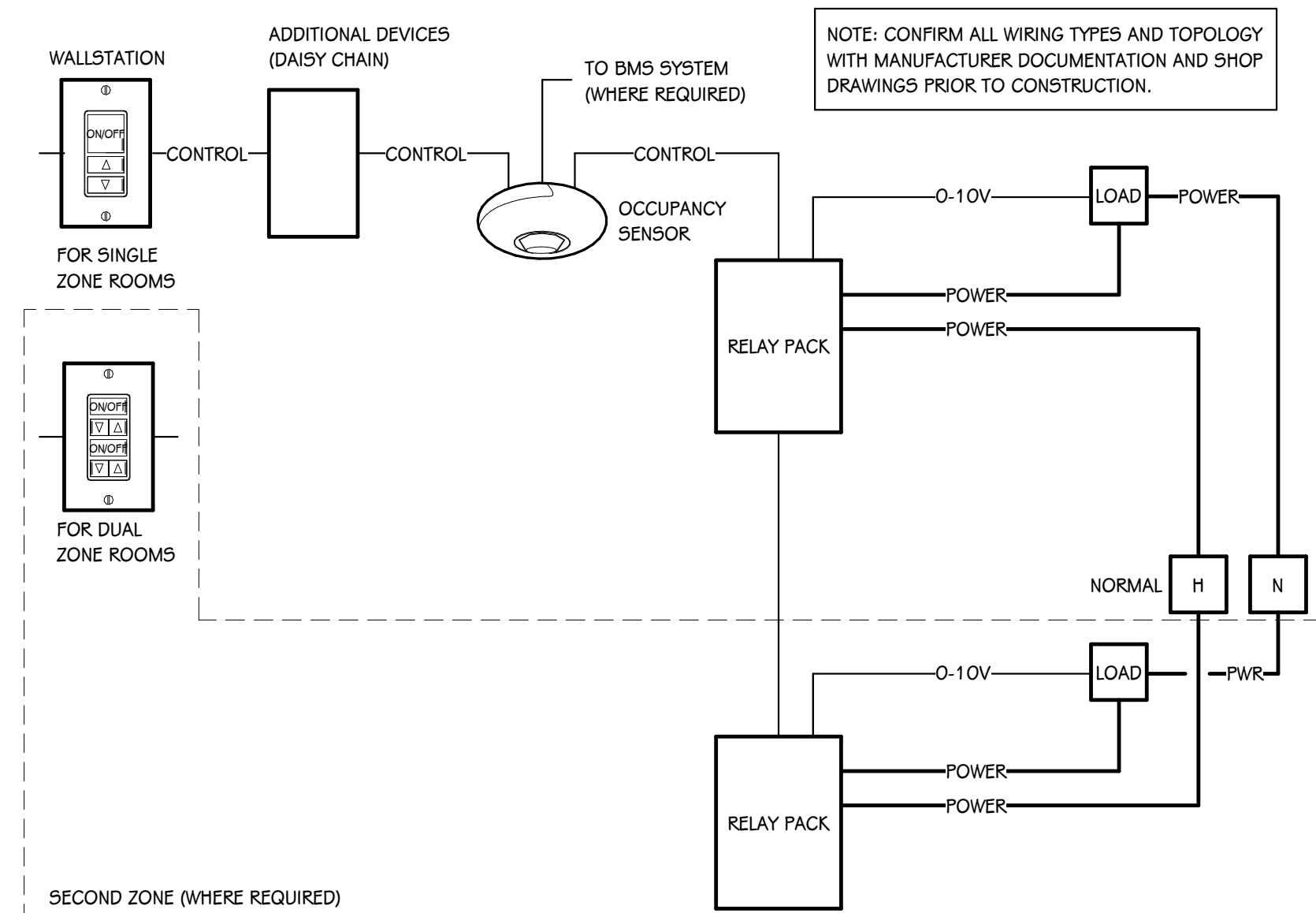
- NOTES:
- PROVIDE (1) RELAY PACK PER CIRCUIT CONTAINING CONTROLLED RECEPTACLES. REFER TO POWER PLAN(S) FOR CIRCUIT QUANTITIES.



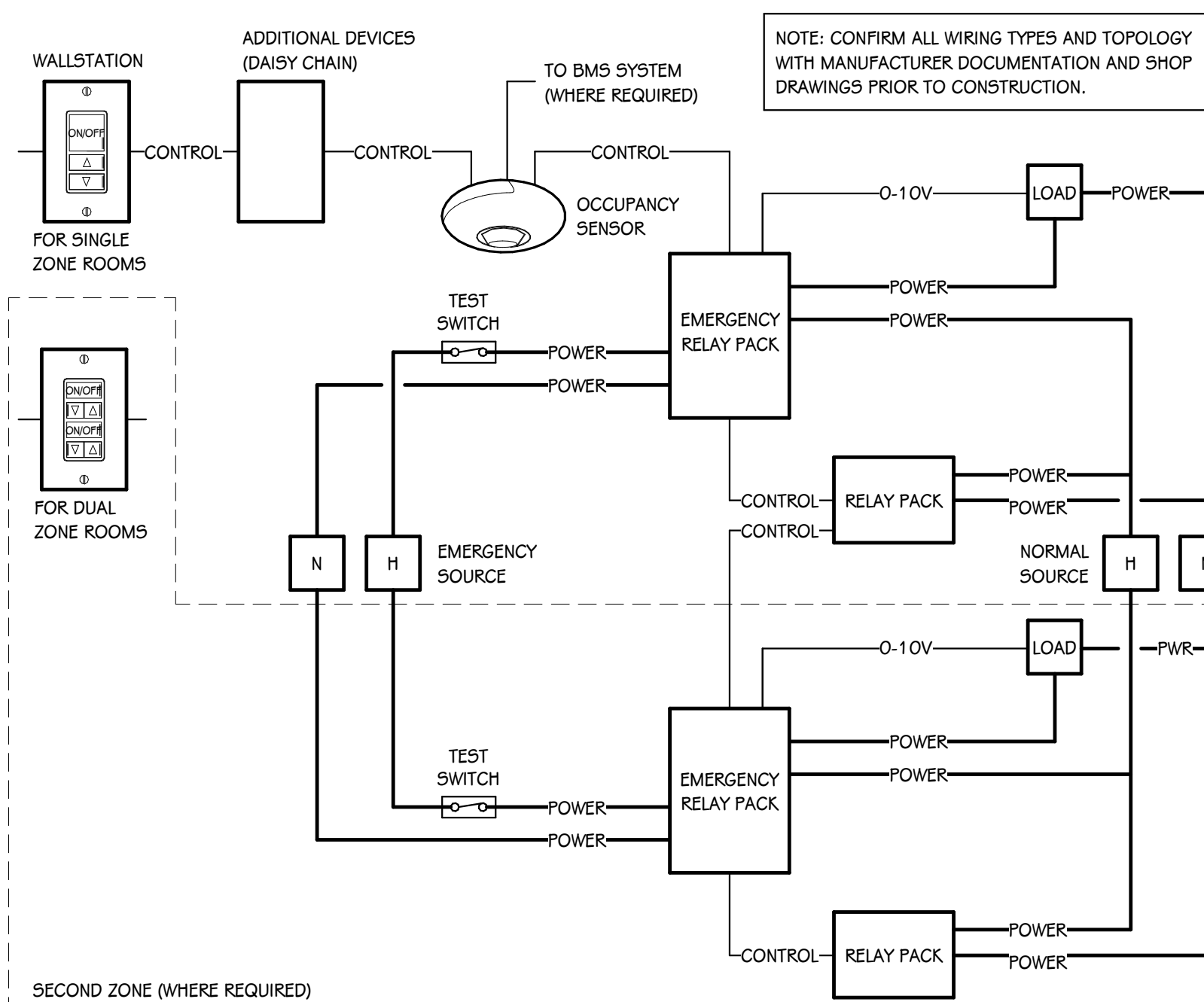
CONTROL LV-4B
SCALE: NONE



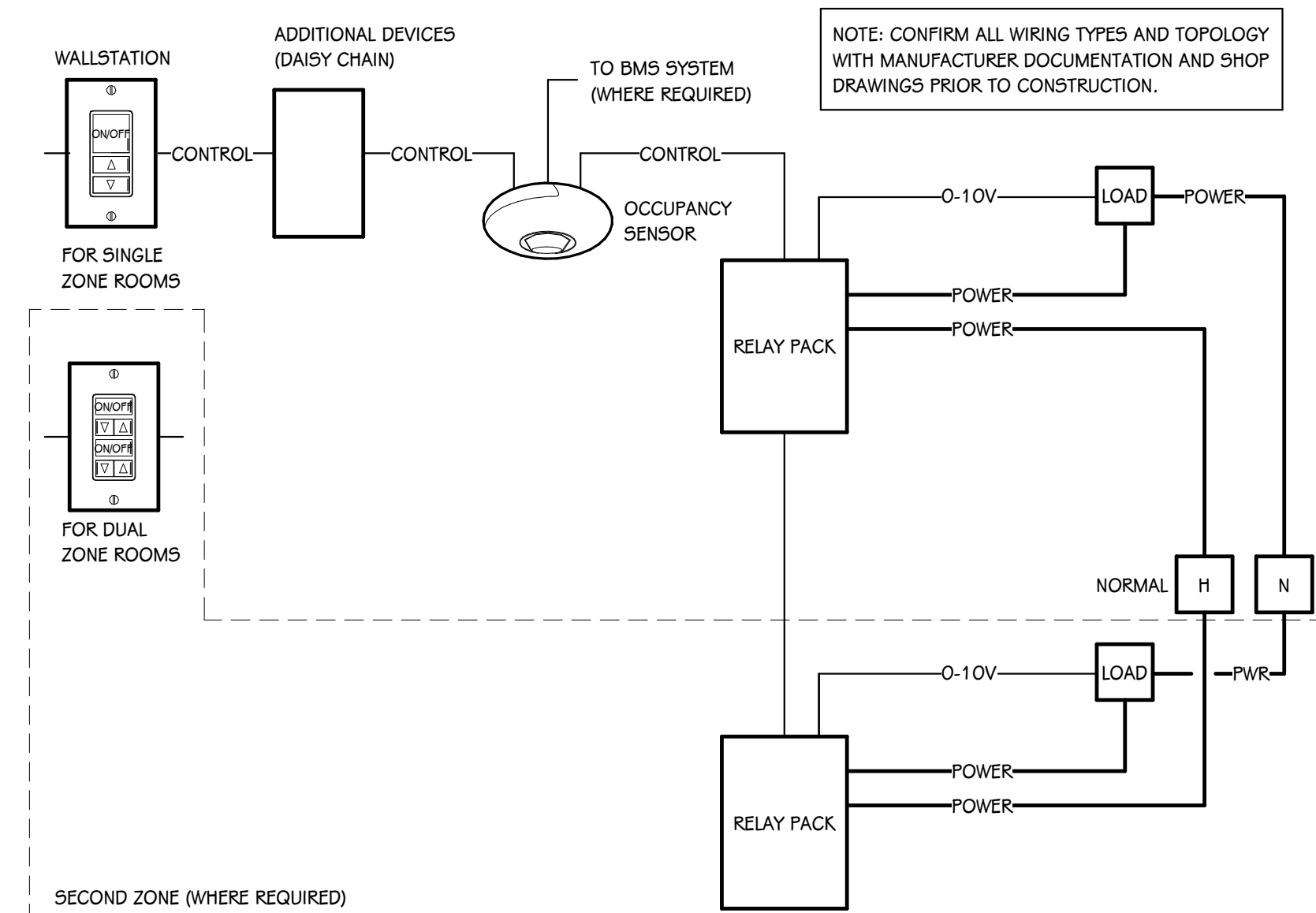
CONTROL LV-2A
SCALE: NONE



OCCUPANCY SENSOR WIRING DIAGRAM
SCALE: NONE

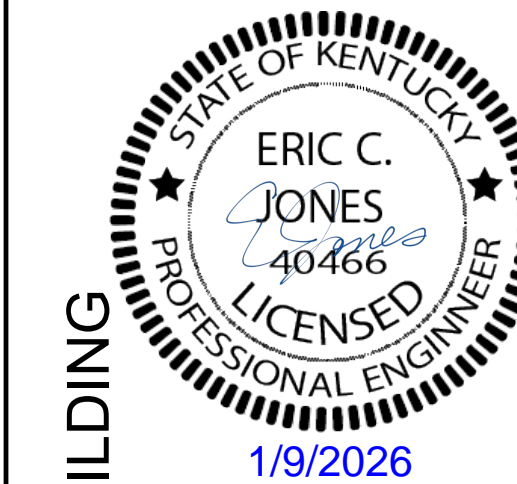


EMERGENCY OCCUPANCY SENSOR WIRING DIAGRAM
SCALE: NONE



OCCUPANCY SENSOR WIRING DIAGRAM
SCALE: NONE

ISSUED FOR DATE



PROJECT TITLE
TEAMSTERS LOCAL 2727 BUILDING
ADDITION

OWNER
TEAMSTERS LOCAL 2727

SHEET TITLE
LIGHTING SCHEDULES AND DETAILS

Shepardsville, Kentucky

DATE
JANUARY 9, 2026

SHEET NUMBER
E 421
25-376.000