

## ADDENDUM NO. 3

**DATE OF ISSUANCE:** May 29, 2025

**PROJECT:** FHB Buckman St. Branch - 2025 Renovations  
130 S. Buckman Street  
Shepherdsville, KY 40165

**OWNER:** First Harrison Bank

**ARCHITECT'S PROJECT NO.:** 24-220

**ORIGINAL BID ISSUE DATE:** April 30, 2025

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### SCOPE OF WORK

This Addendum includes changes to, or clarifications of, the original Bidding Documents and any previously issued addenda, and shall be included in the Bid. All of these Addendum items form a part of the Contract Documents. The Bidder shall acknowledge receipt of this Addendum in the appropriate space provided on the Bid Form. Failure to do so may result in disqualification of the Bid.

### DOCUMENTS INCLUDED IN THIS ADDENDUM

This Addendum includes 2 pages of text and the following documents:

- Drawings: **C1.0, C2.0, C3.0, C4.0, C5.0, L1.0, and A101**

### CHANGES TO SPECIFICATIONS

#### **ADD-3 Item No. S-1 - Alternate No. 1**

Section 01 23 00 – Alternates

Revise Alternate No. 1: Vault removal scope as indicated below.

Add Items c and d to 1.4, A as follows:

- c. The existing vault door will be removed by the Owner's separate contractor (Southeast Banking Systems) prior to the Contractor's demolition of the pre-cast vault. The vault door will be removed from the site by Southeast Banking.
- d. Install new studs and gypsum board to infill at removed vault.

Delete 1.4, B, Item f from the Base Bid description. The vault door will no longer be reinstalled in the new construction.

## **CHANGES TO DRAWINGS**

### **ADD-3 Item No. D-1 - Civil Drawings**

Add attached Drawings C1.0, C2.0, C3.0, C4.0, C5.0, and L1.0 in their entirety.

### **ADD-3 Item No. D-2 - Foundation Plan**

Delete Footing Type F6 from the plan and the Spread Footing Schedule. The vault door will no longer be reinstalled in the new construction.

### **ADD-3 Item No. D-3 - Structural Details for Vault**

Drawing SG003 - Delete Detail 6. The vault door will no longer be reinstalled in the new construction.

### **ADD-3 Item No. D-4 - Vault Door**

Drawing AD101 – Demolition Plan:

Replace Demolition Keyed Note 27 with the following:

Alternate No. 1 - The existing vault door will be removed by the Owner's separate contractor (Southeast Banking Systems) prior to the Contractor's demolition of the pre-cast vault. The vault door will be removed from the site by Southeast Banking.

### **ADD-3 Item No. D-5 - Demolition Plan**

Drawing AD101 has been reissued in its entirety. Changes have been clouded for reference.

### **ADD-3 Item No. D-6 - Architectural Floor Plan**

Drawing A101 has been reissued in its entirety. The vault door will no longer be reinstalled in the new construction. Alternations reflecting this change have been clouded for reference.

### **ADD-3 Item No. D-7 - Power Plan**

Drawing E-102, revise as indicated below:

Add a duplex receptacle and data device in Lobby 102 in the south vestibule wall. Receptacle to be tied to Circuit A-32.

Provide recessed junction box and conduit for door operator touchless sensor. Exterior touchless sensor to operate both exterior and interior vestibule doors on a delay. Interior touchless sensor to operate both interior and exterior vestibule doors on a delay. Touchless sensors to be installed adjacent to the doors; verify exact location with Architect prior to installation. Provide all wiring required for a complete and operating system.

**END OF ADDENDUM.**

X:\AA-Projects-2025\25046 - First Harrison Bank Shepherdsville, KY\Construction\25046 - C1.0 COVER SHEET.dwg PLOT DATE: May 29, 2025 - 9:28am

Revision	Date	Description	Drawn By	Chk'd By	Approved By	

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811(PHONE NO. 811) TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



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GENERAL NOTES:

- ALL AREAS DISTURBED BY THE CONTRACTOR'S ACTIVITIES SHALL BE SEEDED, STRAWED/MULCHED & PROTECTED FROM EROSION PER THE SPECIFICATIONS.
- CONTRACTOR TO COORDINATE ANY NEEDED UTILITY RELOCATIONS WITH APPROPRIATE UTILITY COMPANY. COSTS ASSOCIATED WITH ANY NECESSARY UTILITY RELOCATIONS SHALL BE AT THE OWNER'S OR UTILITY COMPANIES EXPENSE, PROVIDED THAT THE COSTS ARE AGREED UPON PRIOR TO COMMENCING THE WORK.
- SHOP DRAWINGS SHALL BE SUBMITTED FOR ALL MATERIALS USED TO COMPLETE THE PROJECT.
- CONTRACTOR TO USE KYTC #8 STONE BACKFILL UNDER ALL STRUCTURES PLACED ON DISTURBED EARTH UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL EX. STRUCTURES, PIPES, UTILITIES, ETC. DISTURBED DURING CONSTRUCTION SHALL BE REPLACED IN KIND UNLESS OTHERWISE NOTED.
- BACKFILL TYPE 1--GRANULAR BACKFILL MATERIAL SHALL BE KYTC #8 IN ACCORDANCE WITH KYTC STANDARD SPECS. GRANULAR BACKFILL LIMITS SHALL INCLUDE ALL WORK WITHIN PAVED AREAS & ALL WORK WITHIN 5' OF PAVED AREAS (UNLESS SHOWN OTHERWISE ON THE PLANS).
- BACKFILL TYPE 2--IN AREAS NOT REQUIRING GRANULAR BACKFILL MATERIAL, THE TRENCH SHALL BE CAREFULLY BACKFILLED WITH CLEAN EARTH FILL MATERIAL FREE OF ROCKS LARGER THAN 2", FROZEN LUMPS OF SOIL, WOOD OR OTHER EXTRANEIOUS MATERIAL.

EPSC NOTES

- ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO ROADWAYS. ALL TRUCKS & EQUIPMENT WILL HAVE THE DIRT REMOVED FROM TIRES BEFORE ENTERING A PUBLIC ROADWAY. A WASH AREA WILL BE SET UP. THIS AREA WILL BE PROTECTED WITH SEDIMENT CONTROLS. SOIL TRACKED ONTO THE ROADWAYS SHALL BE REMOVED DAILY.
- SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES AND CATCH BASINS. STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH THE USE OF SILT FENCE.
- WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICAL, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
- SEDIMENT--LADEN GROUNDWATER ENCOUNTERED DURING TRENCHING, BORING OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, OR CATCH BASIN.
- CONTRACTOR MUST MAINTAIN EPSC AT ALL TIMES.
- PORTABLE SANITARY FACILITIES AND FUEL TANKS ARE NOT SHOWN ON THIS PLAN. CONTRACTOR TO COORDINATE LOCATION(S) WITH OWNER AT PRE--CONSTRUCTION MEETING AND ADD LOCATIONS ON PLAN. PLAN MUST BE UPDATED AT ALL TIMES TO REFLECT CURRENT SITE CONDITIONS.
- CONCRETE WASHOUT AREA IS NOT SHOWN ON THIS PLAN. CONTRACTOR TO COORDINATE LOCATION(S) WITH OWNER AT PRE--CONSTRUCTION MEETING AND ADD LOCATIONS ON PLAN. CONTRACTOR SHALL MAINTAIN CONCRETE WASHOUT AREA.

# CONSTRUCTION PLANS

for

# FIRST HARRISON BANK

## 130 S BUCKMAN STREET

## SHEPHERDSVILLE, KY 40165



LOCATION MAP  
NOT TO SCALE

UTILITY PROVIDERS

UTILITY	COMPANY	CONTACT NAME	PHONE	EMAIL
GAS:	LOUISVILLE GAS AND ELECTRIC	DAVID PAULLEY	502-364-8342	david.paulley@lg&e-ku.com
ELECTRIC:	LOUISVILLE GAS AND ELECTRIC	LORI DENSON	502-364-8376	lori.denson@lg&e-ku.com
WATER:	LOUISVILLE WATER COMPANY	JORDAN BASHAM	502-569-3600	
TELEPHONE:	ALLTEL		957-7100	
STORM:	SHEPHERDSVILLE STORMWATER MS4	SCOTT FLEMING	502-664-6254	sfleming@shepherdsvilleky.gov
SANITARY:	SHEPHERDSVILLE WASTEWATER DEPT	SCOTT FLEMING	502-664-6254	sfleming@shepherdsvilleky.gov

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER SHEET
C2.0	EX. CONDITIONS & DEMO PLAN
C3.0	SITE LAYOUT PLAN
C4.0	GRADING & SWPP PLAN
C5.0	DETAIL SHEET
L1.0	LANDSCAPE PLAN

BID SET 6-28-25

JOB NO:	25046
HORIZ. SCALE:	N/A
VERTICAL SCALE:	N/A
DESIGNED BY:	CH
DETAILED BY:	EJW
CHECKED BY:	CH
DATE:	5/29/25

SHEET
C1.0
of 6

PRELIMINARY

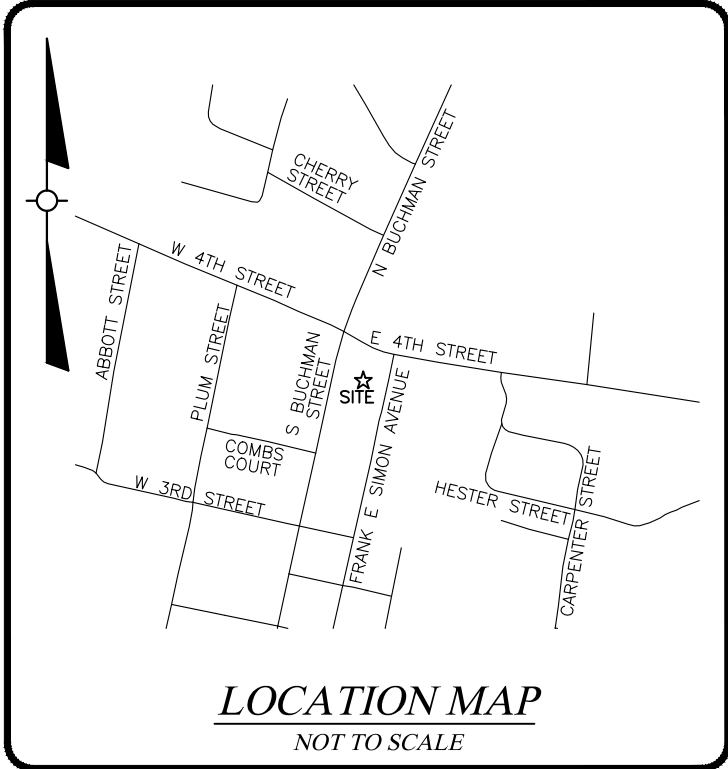
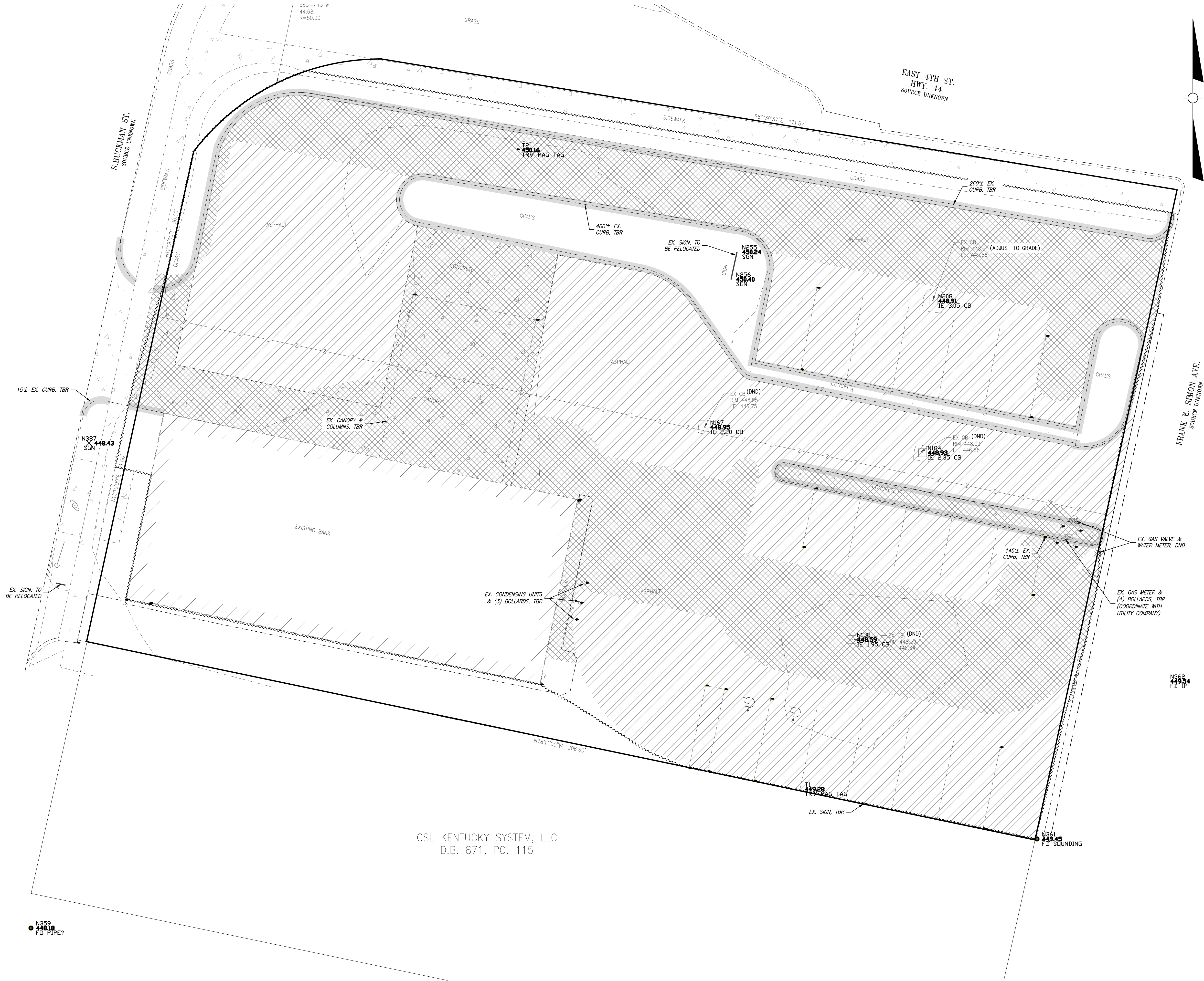
OWNER/DEVELOPER:  
**FIRST HARRISON BANK**  
  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
502-543-3064

PROJECT:  
**CONSTRUCTION PLANS**  
FOR  
**BUCKMAN STREET BRANCH**  
**2025 RENOVATIONS**  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
COVER SHEET

ENGINEER:  
**HERITAGE ENGINEERING, LLC**  
  
603 North Shore Drive  
Jeffersville, TN 37750  
(812) 280-8201  
(812) 280-5281 Fax

642 South 4th Street  
Louisville, KY 40202  
(502) 562-1412  
(502) 562-1413 Fax

X:\AA-Projects-2025\25046 - First Harrison Bank Shepherdsville, KY Construction\25046 - C2.0 EXISTING CONDITIONS PLAN.dwg PLOT DATE: May 29, 2025 -- 9:28am



- EX. CURB TO BE REMOVED  
EX. ASPHALT & CONCRETE TO BE REMOVED  
EX. PAVEMENT TO BE MILLED 1"  
PR. LIMITS OF DISTURBANCE

DEMOLITION NOTES

1. ABANDON, REMOVE OR RELOCATE EX. UTILITIES, WHICH WILL INTERFERE WITH THE NEW CONSTRUCTION. COORDINATE WITH UTILITY COMPANIES.
2. REMOVE ALL OTHER OBSTRUCTIONS AS REQUIRED WITHIN THE DEVELOPED AREA.
3. CONTRACTOR TO COORDINATE ALL UTILITY REMOVAL AND ABANDONMENT WITH UTILITY COMPANIES.
4. COMPLETELY REMOVE ANY EXISTING UNDERGROUND CISTERNS, VAULTS, TANKS, ETC. BACKFILL VOIDS WITH COMPACTED GRANULAR BACKFILL PER THE GEOTECHNICAL REPORT.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
7. THE CONTRACTOR IS TO PROVIDE THE NECESSARY PROTECTION, IN ACCORDANCE WITH THE SPECIFICATIONS FOR TREES TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMITS OF GRADING OR WITHIN THE DRIPLINES OF TREES TO REMAIN.
8. CONSTRUCTION FENCING SHALL BE ERECTED AT THE EDGE OF THE AREA OF DEVELOPMENT PRIOR TO ANY GRADING OR CONSTRUCTION TO PROTECT THE EXISTING TREE STANDS AND THEIR ROOT SYSTEMS FROM COMPACTION. THE FENCING SHALL ENCLOSE THE ENTIRE AREA BENEATH THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN THE PROTECTED AREA.
9. IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO PERFORM ALL ENVIRONMENTAL SITE ASSESSMENTS AND PROPERLY REMOVE AND DISPOSE OF ANY HAZARDOUS MATERIALS ENCOUNTERED WITHIN EXISTING STRUCTURES. THESE MATERIALS INCLUDE, BUT ARE NOT LIMITED TO, ASBESTOS. ALL FEDERAL, STATE AND LOCAL ABATEMENT REGULATIONS SHALL BE FOLLOWED.
10. ALL EPSC MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION OF ANY KIND.
11. SHOULD THE CONTRACTOR DAMAGE EXISTING CONDITIONS OUTSIDE OF THE LIMITS OF DISTURBANCE BOUNDARIES THE COST FOR ALL REPAIRS SHALL BE BORNE BY THE CONTRACTOR.
12. EXISTING ADJACENT BUSINESSES MUST REMAIN OPEN AND ACCESSIBLE DURING ALL PHASES OF CONSTRUCTION.
13. EXISTING UTILITIES LOCATED UNDER PROPOSED SLAB MUST BE REMOVED ENTIRELY AND BACKFILLED ACCORDING TO GEOTECHNICAL REPORT.
14. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING STORM WATER FLOW THROUGH SITE AT ALL TIMES.
15. CONTRACTOR SHALL VERIFY EXISTING TREE SIZES AND LOCATIONS PRIOR TO CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ALL TREES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS WHETHER OR NOT THE TREES WERE IDENTIFIED ON THE PLANS.

CSL KENTUCKY SYSTEM, LLC  
D.B. 871, PG. 115

UTILITY NOTE:

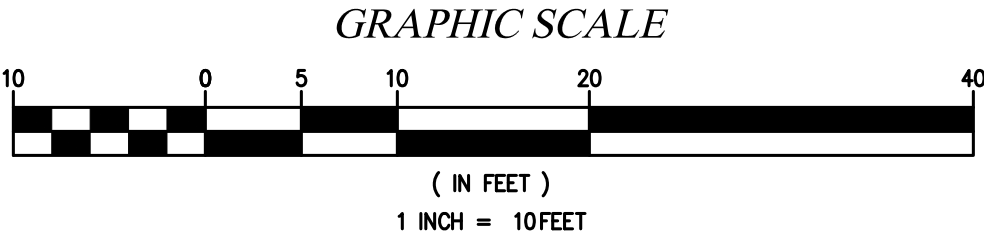
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TEMPORARY BENCHMARKS

TBM#1 DESCRIPTION:  
ELEVATION:  
COORDINATES:



ENGINEER:  
**HERITAGE ENGINEERING, LLC**  
603 North Shore Drive  
Jeffersville, IN 47130  
(812) 280-8201  
(812) 280-8281 Fax

OWNER/DEVELOPER:  
**FIRST HARRISON BANK**  
130 S BUCKMAN ST  
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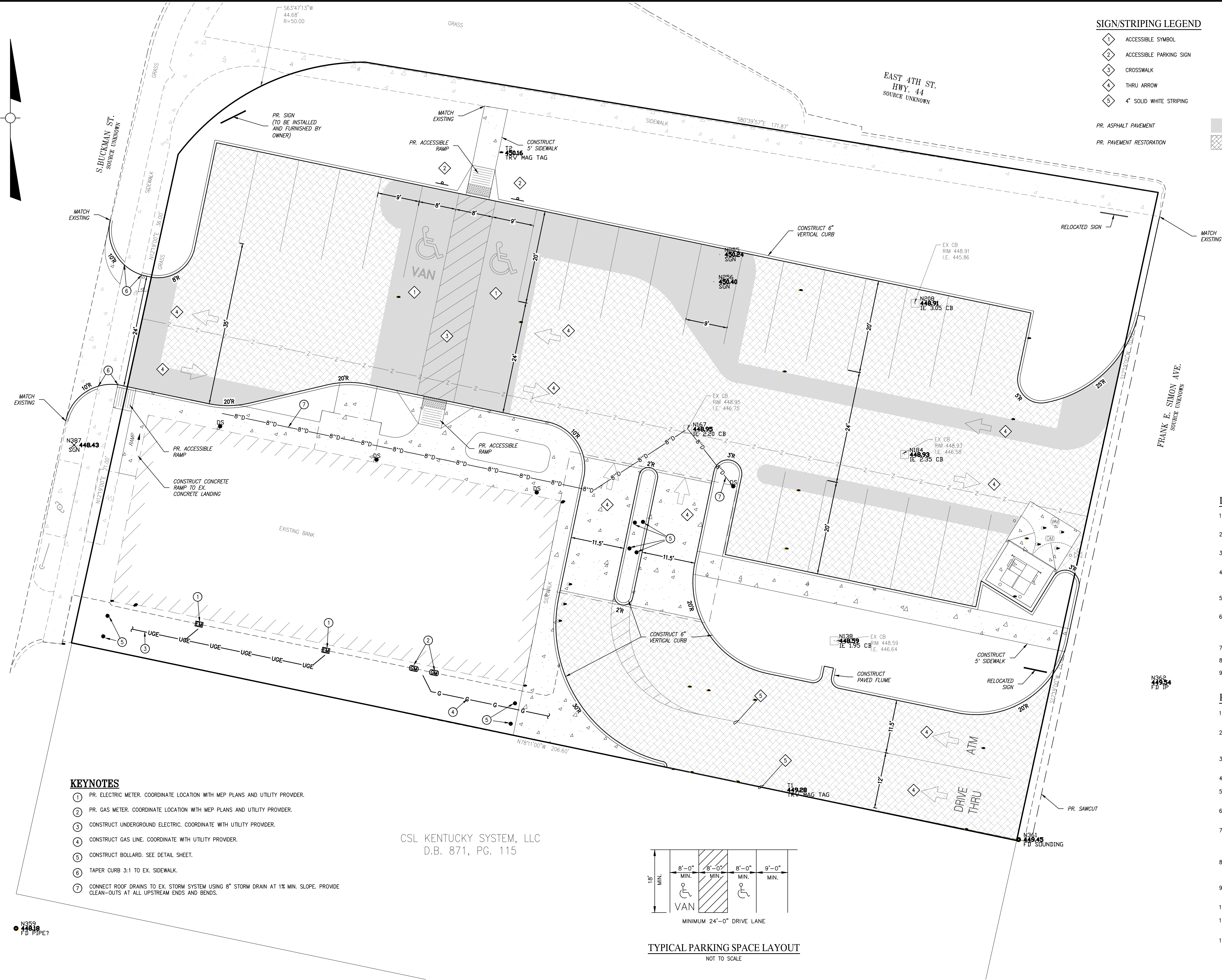
PROJECT:  
**CONSTRUCTION PLANS  
FOR  
BUCKMAN STREET BRANCH  
2025 RENOVATIONS**  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
EX. CONDITIONS & DEMO PLAN

**BID SET 6-29-25**

JOB NO: 25046  
HORIZ. SCALE: 1" = 10'  
VERTICAL SCALE: N/A  
DESIGNED BY: CH  
DETAILED BY: EJW  
CHECKED BY: CH  
DATE: 5/29/25

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of 6

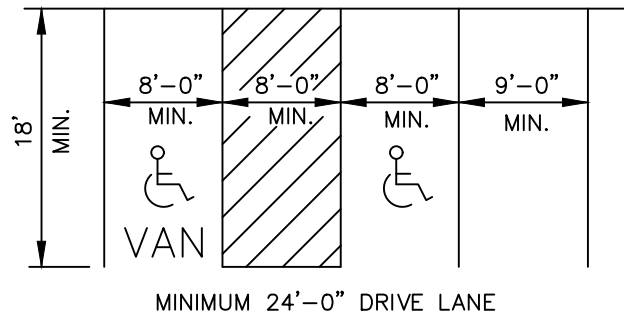
PRELIMINARY



KEYNOTES

- PR. ELECTRIC METER. COORDINATE LOCATION WITH MEP PLANS AND UTILITY PROVIDER.
- PR. GAS METER. COORDINATE LOCATION WITH MEP PLANS AND UTILITY PROVIDER.
- CONSTRUCT UNDERGROUND ELECTRIC. COORDINATE WITH UTILITY PROVIDER.
- CONSTRUCT GAS LINE. COORDINATE WITH UTILITY PROVIDER.
- CONSTRUCT BOLLARD. SEE DETAIL SHEET.
- TAPER CURB 3:1 TO EX. SIDEWALK.
- CONNECT ROOF DRAINS TO EX. STORM SYSTEM USING 8" STORM DRAIN AT 1% MIN. SLOPE. PROVIDE CLEAN-OUTS AT ALL UPSTREAM ENDS AND BENDS.

CSL KENTUCKY SYSTEM, LLC  
D.B. 871, PG. 115

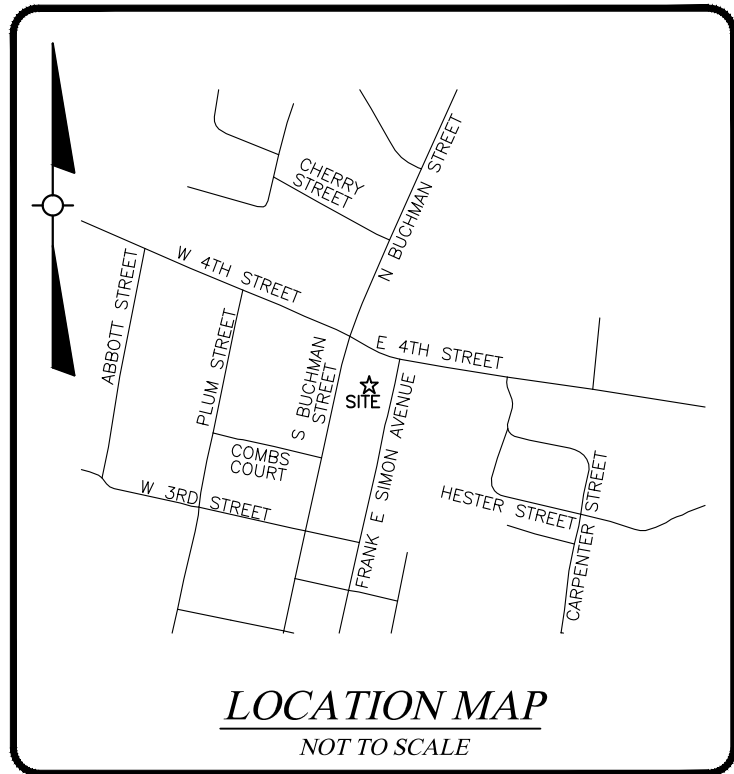
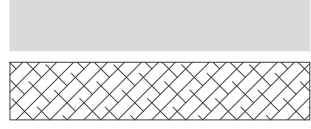


TYPICAL PARKING SPACE LAYOUT  
NOT TO SCALE

SIGN/STRIPING LEGEND

- ACCESSIBLE SYMBOL
- ACCESSIBLE PARKING SIGN
- CROSSWALK
- THRU ARROW
- 4" SOLID WHITE STRIPING

PR. ASPHALT PAVEMENT  
PR. PAVEMENT RESTORATION



OWNER  
PEOPLES BANK  
P.O. BOX 247  
SHEPHERDSVILLE, KY 40165  
PHONE: 502-543-3064

SITE DATA  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
PVA 037-N00-32-002

SITE AREA 0.645 ACRES  
EX. ZONING B-2  
EX. LAND USE COMMERCIAL  
PR. LAND USE COMMERCIAL

SETBACK DATA

FRONT YARD NONE  
STREET SIDE YARD NONE  
SIDE YARD NONE  
REAR YARD NONE

PARKING SUMMARY

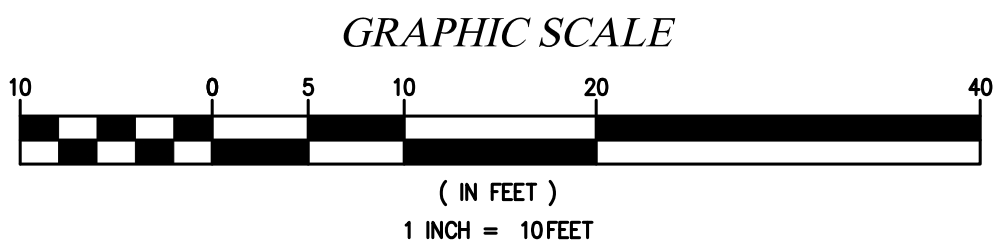
PARKING REQUIRED (1 SPACE/200 SF) 19 SPACES  
EXISTING PARKING 20 SPACES  
REMOVED PARKING -20 SPACES  
PARKING TO BE ADDED +25 SPACES  
TOTAL PARKING PROVIDED 25 SPACES (INCLUDES 1 ADA SPACE)

LAYOUT & UTILITY NOTES

- CONTRACTOR IS TO CHECK ALL FINISHED GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY.
- CONTRACTOR TO COORDINATE ALL BUILDING SERVICE UTILITY CONNECTIONS (DOMESTIC WATER, FIRE, ELECTRIC, GAS & TELECOMMUNICATION), SIZES, ELEVATIONS & LOCATIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR ALL UTILITY CONNECTION LOCATIONS AND FEES.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL TRAFFIC SIGNS & PAVEMENT MARKINGS SHALL MEET THE REQUIREMENTS OF THE MUTCD.
- ROADWAY DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL RADII NOT LABELED SHALL BE 4'R.

PAVING NOTES

- ALL PAVEMENT MARKINGS INCLUDING STRIPES, DIRECTIONAL ARROWS, ETC., SHALL BE MARKED BY KYTC SPECIFICATIONS.
- PAINT CONCRETE SIGN BASES, LIGHT-POLE BASES IN PAVED AREAS AND PROTECTIVE BOLLARDS WITH SAFETY YELLOW (TWO COATS). DO NOT PAINT LIGHT-POLE BASES THAT ARE IN LANDSCAPE AREAS.
- CONTRACTOR TO MILL AND WEDGE AS NECESSARY TO MAKE TRANSITION AT HANDICAP RAMPS ADJACENT TO OVERLAY COMPLIANT WITH ADA STANDARDS UPON COMPLETION OF OVERLAY.
- PROVIDE EDGE KEY AT ALL JOINTS WITH EXISTING ASPHALT.
- CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND PROPOSED PAVEMENT. FIELD ADJUSTMENTS OF FINAL GRADES MAY BE NECESSARY.
- CONTRACTOR TO ADJUST ALL UTILITY RIMS, CAPS, ETC TO FINAL GRADE. COORDINATE WITH UTILITY COMPANIES AS NECESSARY.
- CONTRACTOR TO MILL AROUND ALL EXISTING STRUCTURES, FITTINGS AND APPURTENANCES, TO PROVIDE A FLUSH SURFACE AFTER OVERLAY. DO NOT PAVE OVER EXISTING STRUCTURES, FITTINGS OR APPURTENANCES. IF MILLING IS NOT PRACTICAL, CONTRACTOR SHALL RAISE STRUCTURE, FITTING OR APPURTENANCE TO FINISH GRADE.
- WHERE POSSIBLE, CONTRACTOR TO MILL AT EXISTING CURBS TO MATCH EXISTING GRADE AFTER OVERLAY. IF POSITIVE DRAINAGE CAN NOT BE MAINTAINED OVERLAY CAN BE AGAINST THE CURB.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ANY SIGNS, POLES OR OTHER FEATURES DAMAGED DURING CONSTRUCTION.
- CONTRACTOR TO PROVIDE POSITIVE DRAINAGE IN ALL AREAS OF THE PARKING LOT.
- CONTRACTOR TO MILL AND WEDGE AS NECESSARY TO PROVIDE A MINIMUM 1.5" ASPHALT OVERLAY IN LIGHT DUTY PAVEMENT AREAS & 2" OVERLAY IN HEAVY DUTY PAVEMENT AREAS.
- CONTRACTOR SHALL CHECK THE CONDITIONS OF ASPHALT AFTER MILLING. CONTRACTOR SHALL CONTACT OWNER FOR DIRECTION ON WHETHER TO PERFORM FULL DEPTH REPLACEMENT OR IF MILLING IS ACCEPTABLE. TOTAL PAVEMENT DEPTH AT COMPLETION MUST MEET OR EXCEED MINIMUM.



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TEMPORARY BENCHMARKS

TBM#1 DESCRIPTION:  
ELEVATION:  
COORDINATES:

ENGINEER:  
**HERITAGE ENGINEERING, LLC**  
602 North Shore Drive  
Jeffersville, IN 47130  
(812) 280-8201  
(812) 280-5281 Fax

OWNER/DEVELOPER:  
**FIRST HARRISON BANK**  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
502-543-3064

PROJECT:  
CONSTRUCTION PLANS  
FOR  
**BUCKMAN STREET BRANCH**  
2025 RENOVATIONS  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
SITE LAYOUT PLAN

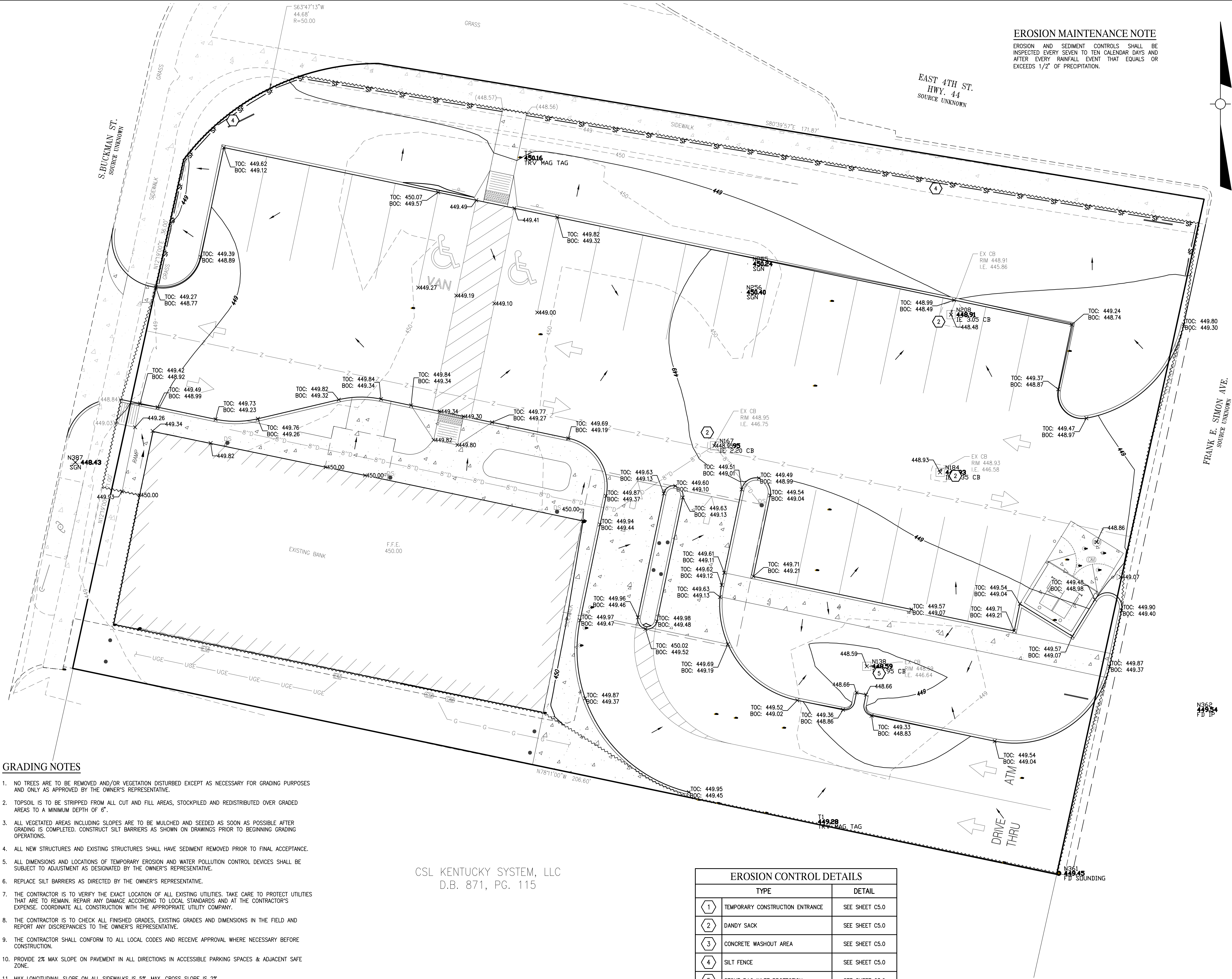
**BID SET 6-29-25**

JOB NO: 25046  
HORIZ. SCALE: 1" = 10'  
VERTICAL SCALE: N/A  
DESIGNED BY: CH  
DETAILED BY: EJW  
CHECKED BY: CH  
DATE: 5/29/25

SHEET  
**C3.0**  
of 6

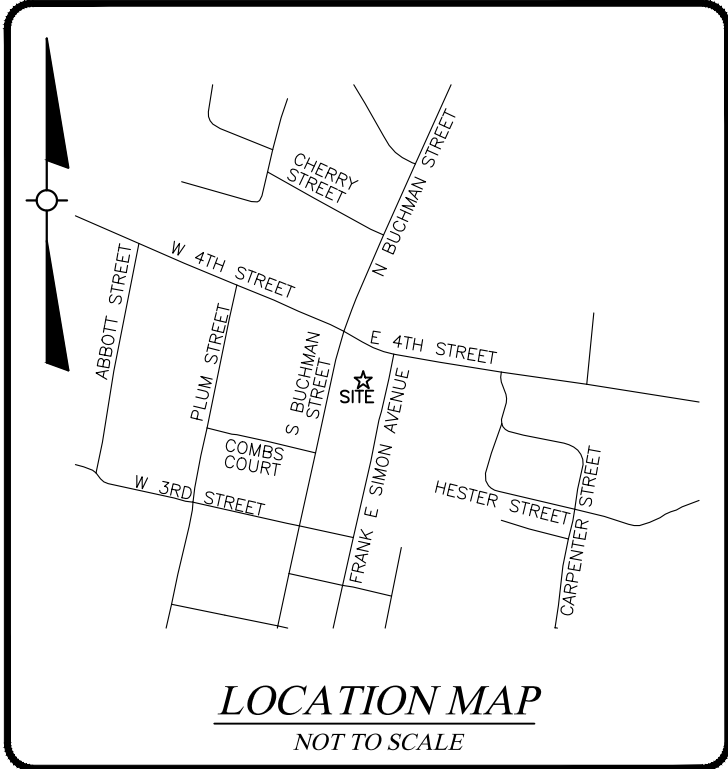
PRELIMINARY

X:\AA-Projects-2025\25046 - First Harrison Bank Shepherdsville, KY\Construction\25046 - C4.0 GRADING & SWPP PLAN.dwg PLOT DATE: May 29, 2025 -- 9:28am



EROSION MAINTENANCE NOTE

EROSION AND SEDIMENT CONTROLS SHALL BE INSPECTED EVERY SEVEN TO TEN CALENDAR DAYS AND AFTER EVERY RAINFALL EVENT THAT EQUALS OR EXCEEDS 1/2" OF PRECIPITATION.



PHASING & SEQUENCING

PHASE 1 (BEFORE DEMOLITION & SITE CLEARING.)

1. CONTACT INSPECTOR FOR A PRE-CONSTRUCTION MEETING BEFORE INSTALLING ANY EROSION CONTROL.
2. CLEAR ONLY AREA NECESSARY FOR CONSTRUCTION ENTRANCE & CONCRETE WASHOUT AREA - COORDINATE WITH OWNER.
3. CONSTRUCT CONSTRUCTION ENTRANCE.
4. CONSTRUCT SILT FENCES.

PHASE II (CLEARING & GRADING OF SITE)

1. BEGIN CLEARING & DEMOLISHING OF THE SITE INSIDE DISTURBANCE AREA.
2. BEGIN GRADING OF THE SITE INSIDE DISTURBANCE AREA, CREATING ADEQ. MAINTAINING A POSITIVE FLOW TO EXISTING STORM.
3. DISTURBED AREAS WHERE CONSTRUCTION WILL CEASE FOR 14 DAYS WILL BE STABILIZED WITH EROSION CONTROLS.
4. INSTALL EROSION CONTROL BLANKETS ON ALL SLOPES STEEPER THAN 20% DISTURBED.
5. SEDIMENT CONTROL STRUCTURES SHALL BE CLEANED ONCE DEPOSITED SEDIMENT REACHES 1/3 THE HEIGHT OF THE STRUCTURE.

PHASE III (FINALIZE SITE FOR PAVEMENT ACTIVITIES, PAVEMENT & FINAL STABILIZATION.)

1. PREPARE PAVEMENT SUBGRADE.
2. FINALIZE SITE FOR PAVEMENT ACTIVITIES.
3. INSTALL CURBS.
4. INSTALL ASPHALT CONCRETE & PAVEMENT.
5. REMOVE ALL REMAINING TEMPORARY CONTROL BMP'S AND STABILIZE ANY AREAS DISTURBED BY THESE REMOVALS.
6. PREPARE FINAL SEEDING AND LANDSCAPING.
7. MONITOR STABILIZED AREAS UNTIL FINAL STABILIZATION.
8. ONCE CONSTRUCTION HAS BEEN COMPLETED AND SITE HAS BEEN STABILIZED FILE NOTICE OF TERMINATION WITH KENTUCKY DIVISION OF WATER.

EROSION CONTROL NOTES

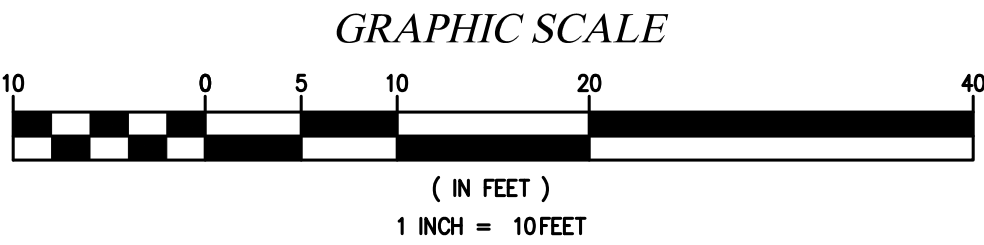
1. THE APPROVED EROSION CONTROL PLAN SHALL BE IMPLEMENTED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE CONSTRUCTION SITE. ANY MODIFICATIONS TO THE APPROVED EROSION CONTROL PLAN MUST BE REVIEWED AND APPROVED BY MSD.
2. ACTIONS MUST BE TAKEN TO MINIMIZE THE TRACKING OF MUD AND SOIL FROM CONSTRUCTION AREAS ONTO ADJACENT RETAIL PARKING & PUBLIC ROADWAYS. SOIL TRACKED ONTO THE PARKING & ROADWAY SHALL BE REMOVED DAILY.
3. SOIL STOCKPILES SHALL BE LOCATED AWAY FROM STREAMS, PONDS, SWALES, AND CATCH BASINS. SOIL STOCKPILES SHALL BE SEEDED, MULCHED, AND ADEQUATELY CONTAINED THROUGH USE OF SILT FENCE.
4. WHERE CONSTRUCTION OR LAND DISTURBANCE ACTIVITY WILL OR HAS TEMPORARILY CEASED ON ANY PORTION OF A SITE, TEMPORARY SITE STABILIZATION MEASURES SHALL BE REQUIRED AS SOON AS PRACTICABLE, BUT NO LATER THAN 14 CALENDAR DAYS AFTER THE ACTIVITY HAS CEASED.
5. SEDIMENT LADEN GROUND WATER ENCOUNTERED DURING THE TRENCHING, BORING, OR OTHER EXCAVATION ACTIVITIES SHALL BE PUMPED TO A SEDIMENT TRAPPING DEVICE PRIOR TO BEING DISCHARGED INTO A STREAM, POND, SWALE, AND/OR CATCH BASIN.
6. PORTABLE SANITARY FACILITIES AND FUEL TANKS ARE NOT SHOWN ON THIS PLAN. CONTRACTOR TO COORDINATE LOCATION(S) WITH OWNER AT PRE-CONSTRUCTION MEETING AND ADD LOCATIONS ON PLAN. PLAN MUST BE UPDATED AT ALL TIME TO REFLECT CURRENT SITE CONDITIONS.
7. CONCRETE WASHOUT AREA IS NOT SHOWN ON THIS PLAN. CONTRACTOR TO COORDINATE LOCATION(S) WITH OWNER AT PRE-CONSTRUCTION MEETING AND ADD LOCATIONS ON PLAN. CONTRACTOR SHALL MAINTAIN CONCRETE WASHOUT AREA.

WASTE DISPOSAL:

WASTE MATERIALS:  
ALL WASTE MATERIALS THAT MAY LEACH POLLUTANTS (PAINT & PAINT CONTAINERS, CAULK TUBES, OIL/GREASE CONTAINERS, LIQUIDS OF ANY KIND, SOLUBLE MATERIALS, ETC.) WILL BE COLLECTED & STORED IN A COVERED METAL DUMPSTER. THE DUMPSTER WILL MEET ALL LOCAL & STATE SOLID WASTE MANAGEMENT REGULATIONS. CONSTRUCTION DEBRIS & OTHER WASTES THAT DO NOT LEACH POLLUTANTS WILL BE DEPOSITED IN A COVERED OR OPEN TOPPED DUMPSTER. THE DUMPSTER WILL BE EMPTIED A MINIMUM OF TWICE A WEEK OR MORE OFTEN IF NECESSARY, & THE TRASH WILL BE HAULED TO AN APPROVED LANDFILL. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER & THE INDIVIDUAL WHO MANAGES THE DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PROCEDURES ARE FOLLOWED.

HAZARDOUS WASTE:  
ALL WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATIONS OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES & THE INDIVIDUAL WHO MANAGES DAY TO DAY SITE OPERATIONS, WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE:  
PORTABLE TOILETS WILL BE USED ON SITE FOR SANITARY WASTES. ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR, AS REQUIRED BY LOCAL REGULATION. PORTABLE UNITS WILL BE PLACED AWAY FROM STORM DRAIN INLETS, DITCHES, CREEKS & OTHER WATER BODIES.



GRADING NOTES

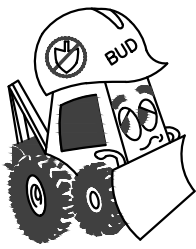
1. NO TREES ARE TO BE REMOVED AND/OR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY THE OWNER'S REPRESENTATIVE.
2. TOPSOIL IS TO BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6".
3. ALL VEGETATED AREAS INCLUDING SLOPES ARE TO BE MULCHED AND SEEDED AS SOON AS POSSIBLE AFTER GRADING IS COMPLETED. CONSTRUCT SILT BARRIERS AS SHOWN ON DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
4. ALL NEW STRUCTURES AND EXISTING STRUCTURES SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
5. ALL DIMENSIONS AND LOCATIONS OF TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE OWNER'S REPRESENTATIVE.
6. REPLACE SILT BARRIERS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
7. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
8. THE CONTRACTOR IS TO CHECK ALL FINISHED GRADES, EXISTING GRADES AND DIMENSIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE.
9. THE CONTRACTOR SHALL CONFORM TO ALL LOCAL CODES AND RECEIVE APPROVAL WHERE NECESSARY BEFORE CONSTRUCTION.
10. PROVIDE 2% MAX SLOPE ON PAVEMENT IN ALL DIRECTIONS IN ACCESSIBLE PARKING SPACES & ADJACENT SAFE ZONE.
11. MAX LONGITUDINAL SLOPE ON ALL SIDEWALKS IS 5%. MAX. CROSS SLOPE IS 2%.
12. MAX CROSS SLOPE ON CROSS WALKS IS 2%.

CSL KENTUCKY SYSTEM, LLC  
D.B. 871, PG. 115

EROSION CONTROL DETAILS		
	TYPE	DETAIL
1	TEMPORARY CONSTRUCTION ENTRANCE	SEE SHEET C5.0
2	DANDY SACK	SEE SHEET C5.0
3	CONCRETE WASHOUT AREA	SEE SHEET C5.0
4	SILT FENCE	SEE SHEET C5.0
5	STONE BAG INLET PROTECTION	SEE SHEET C5.0

UTILITY NOTE:

ALL UTILITIES SHOWN ON THESE PLANS ARE APPROXIMATE. INDIVIDUAL SERVICE LINES ARE NOT SHOWN. THE CONTRACTOR OR SUBCONTRACTOR SHALL NOTIFY KENTUCKY 811(PHONE NO. 811) TWO (2) WORKING DAYS IN ADVANCE OF ANY CONSTRUCTION ON THIS PROJECT. THIS NUMBER WAS ESTABLISHED TO PROVIDE ACCURATE LOCATIONS OF EXISTING BELOW GROUND UTILITIES (I.E. CABLES, ELECTRIC WIRES, GAS, AND WATERLINES). THE CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UTILITY REQUIREMENTS SET FORTH ON THE PLANS IN THE TECHNICAL SPECIFICATIONS AND SPECIAL PROVISIONS.



The New Look For Digging Safely in Kentucky  
**Kentucky 811**  
Call 811 Before You Dig

TEMPORARY BENCHMARKS

TBM#1 DESCRIPTION:  
ELEVATION:  
COORDINATES:

Revision	Date	Description	Detailed By	Chk'd By	Approved By

ENGINEER:  
**HERITAGE ENGINEERING, LLC**  
602 North Shore Drive  
Jeffersville, IN 47130  
(812) 280-8201  
(812) 280-5281 Fax

OWNER/DEVELOPER:  
**FIRST HARRISON BANK**  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
502-543-3064

PROJECT:  
**CONSTRUCTION PLANS FOR**  
**BUCKMAN STREET BRANCH**  
**2025 RENOVATIONS**  
130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
**GRADING & SWPP PLAN**

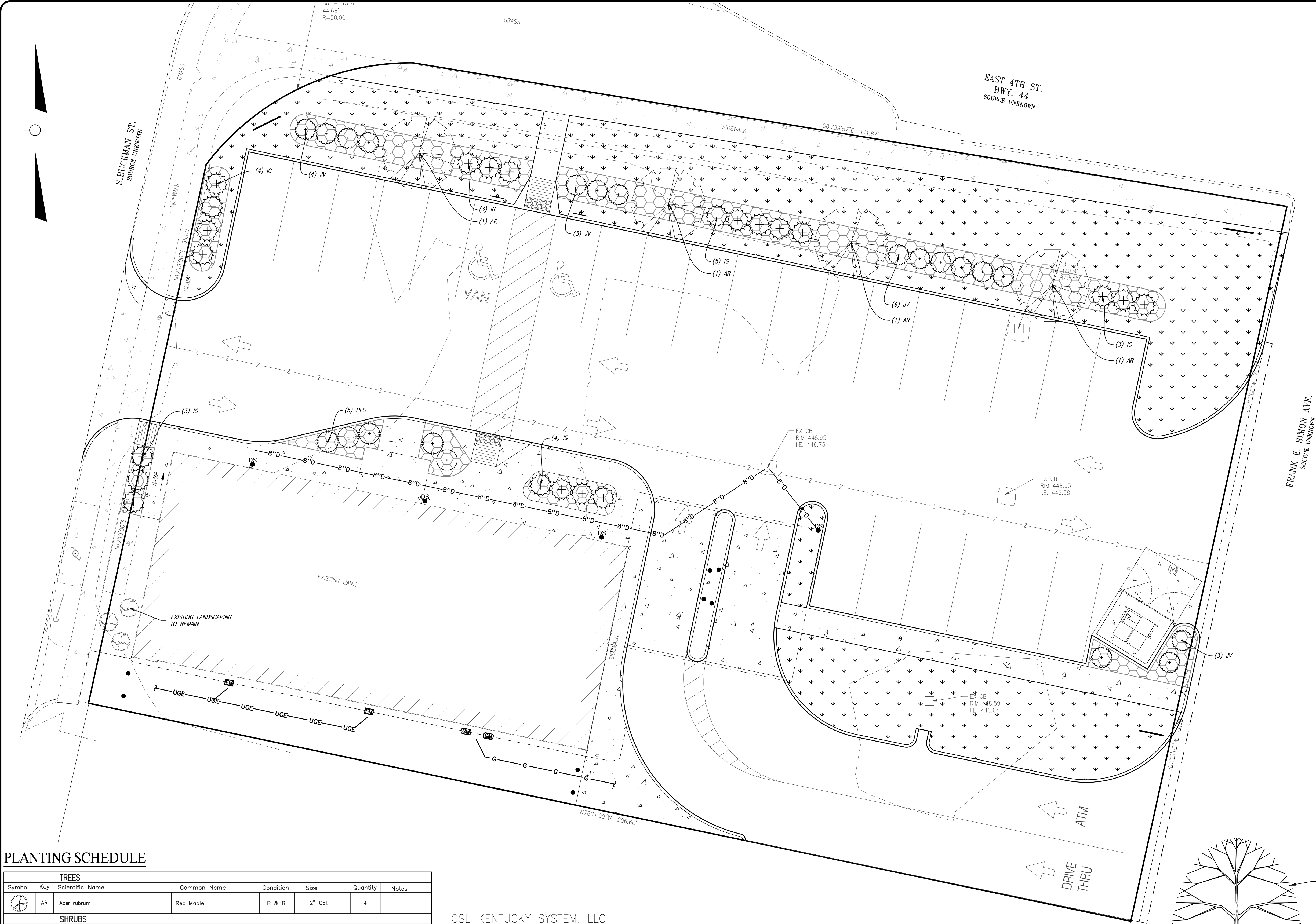
**BID SET 6-29-25**

JOB NO: 25046  
HORIZ. SCALE: 1" = 10'  
VERTICAL SCALE: N/A  
DESIGNED BY: CH  
DETAILED BY: EJW  
CHECKED BY: CH  
DATE: 5/29/25

SHEET  
**C4.0**  
of 6

PRELIMINARY

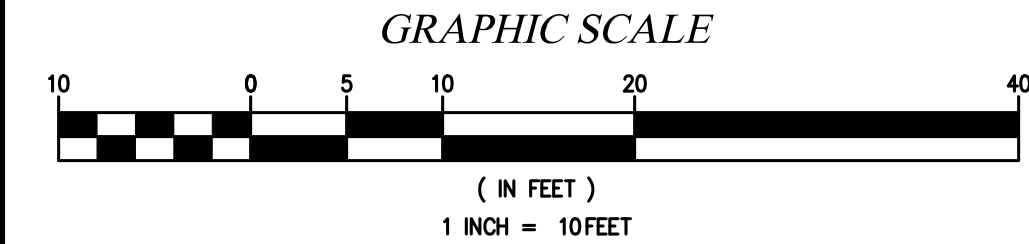




PLANTING SCHEDULE

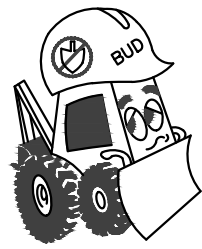
TREES						
Symbol	Key	Scientific Name	Common Name	Condition	Size	Quantity
	AR	Acer rubrum	Red Maple	B & B	2" Cal.	4
SHRUBS						
	JV	Viburnum japonicum	Japanese Viburnum	3-Gal.	24" MIN.	16
	IG	Ilex glabra	Inkberry holly	3-Gal.	24" MIN.	22
	PLO	Prunus lauroceras 'Otto Luyken'	Otto Luyken Laurel	3-Gal.	24" MIN.	5
GROUND COVER						
	SOD				4,744 SF	
	RIVER ROCK	(COORDINATE WITH OWNER ON SIZE AND COLOR)			1,510 SF	

CSL KENTUCKY SYSTEM, LLC  
D.B. 871, PG. 115



Revision	Date	Description	Detailed By	Chk'd By	Approved By

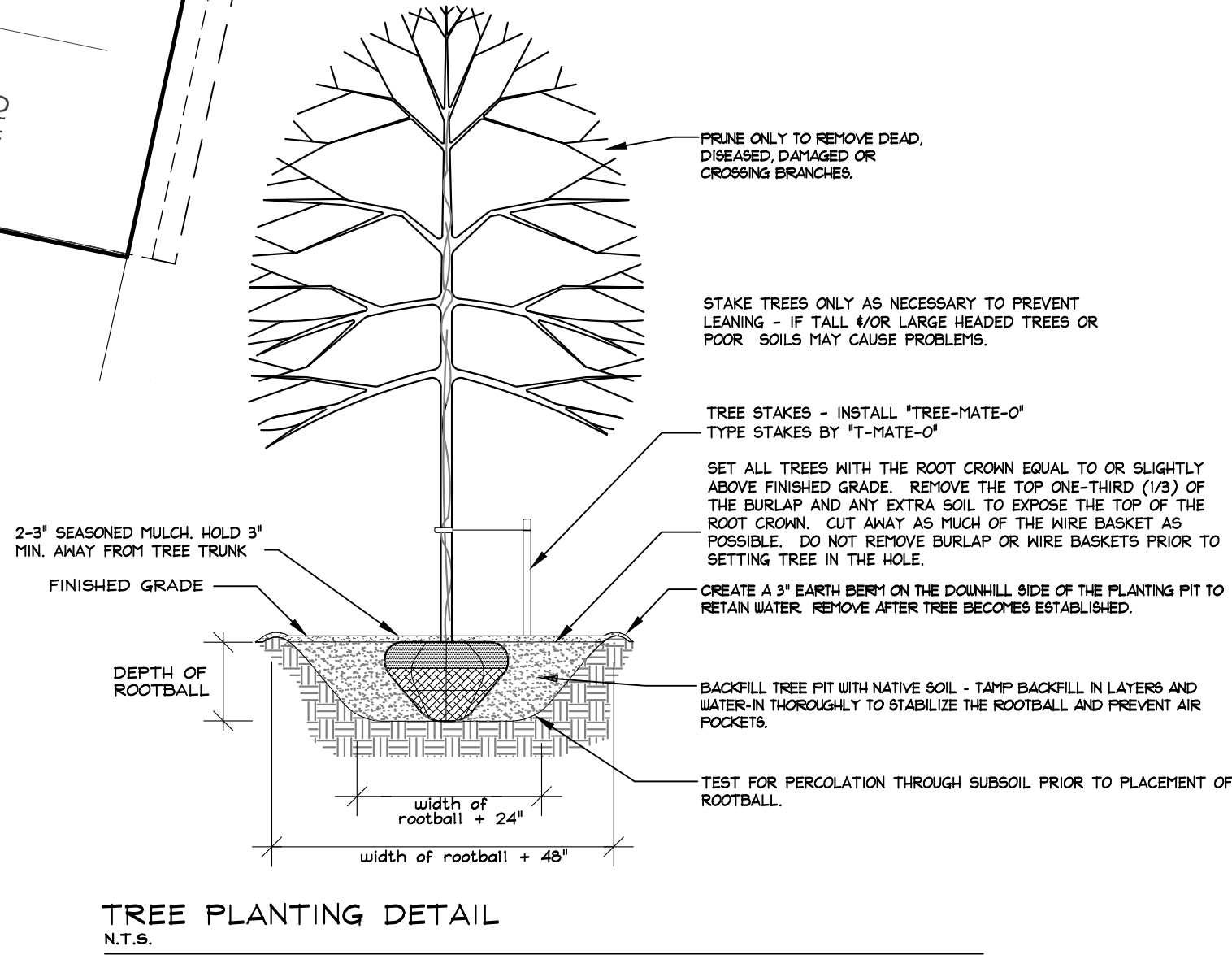
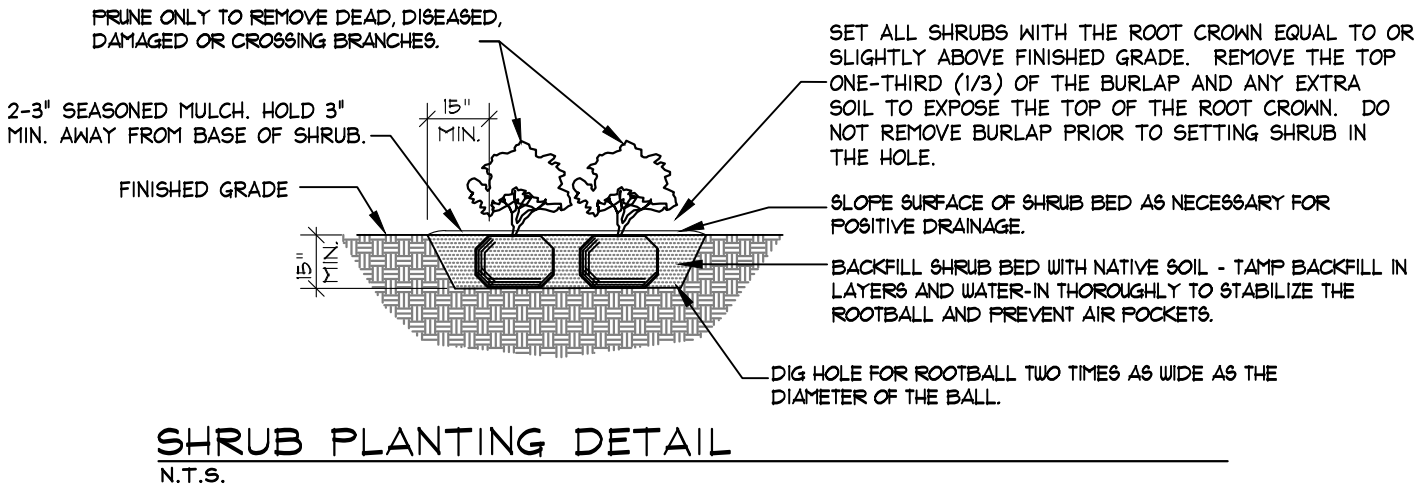
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**Kentucky 811**  
Call 811 Before You Dig

TEMPORARY BENCHMARKS

TBM#1 DESCRIPTION:  
ELEVATION:  
COORDINATES:



OWNER

PEOPLES BANK  
P.O. BOX 247  
SHEPHERDSVILLE, KY 40165  
PHONE: 502-543-3064

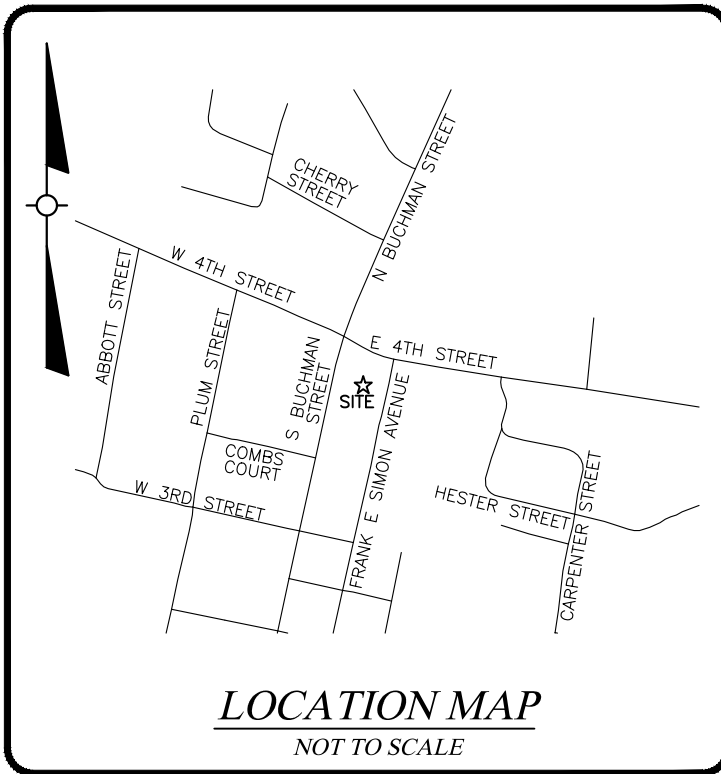
SITE DATA

130 S BUCKMAN ST  
SHEPHERDSVILLE, KY 40165  
PVA 037-N00-32-002

SITE AREA 0.645 ACRES  
EX. ZONING B-2  
EX. LAND USE COMMERCIAL  
PR. LAND USE COMMERCIAL

SETBACK DATA

FRONT YARD NONE  
STREET SIDE YARD NONE  
SIDE YARD NONE  
REAR YARD NONE



PLANTING NOTES

- 1) ALL PLANT MATERIALS SHALL CONFORM TO AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS REGARDING PLANT SIZE, FORM, AND ROOT DEVELOPMENT.
- 2) PLANTS SHALL HAVE A HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES AND SHALL BE SOUND, HEALTHY, VIGOROUS, AND FREE FROM INSECTS, PESTS, PLANT DISEASES AND INJURIES. ALL PLANTS SHALL EQUAL OR EXCEED THE MEASUREMENTS SPECIFIED IN THE PLANT LIST, WHICH ARE MINIMAL ACCEPTABLE SIZES, AND BE MEASURED BEFORE PRUNING.
- 3) VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE "PLANT LIST" SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, AND THE KEYED PLAN SHALL GOVERN.
- 4) DO NOT DISPERSE SOIL EXCAVATED FROM PLANTING PITS OVER PLANT BED SURFACES.
- 5) ALL PLANTING BEDS TO HAVE 3" SHREDDED HARDWOOD MULCH APPLIED BY THE CONTRACTOR. HOLD MULCH AT LEAST 3" AWAY FROM TRUNKS OF TREES AND SHRUBS.
- 6) THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL SITE ELEMENTS AND UTILITIES. CALL BUD AT 1-800-752-6007 (KENTUCKY 811) TO VERIFY THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES. NOTIFY THE OWNER OR OWNERS REPRESENTATIVE IF OBSTRUCTIONS ARE ENCOUNTERED. NECESSARY ADJUSTMENTS SHALL BE MADE ONLY UPON THE APPROVAL OF THE OWNER OR OWNERS REPRESENTATIVE.
- 7) THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF THE PLANTINGS. THE OWNER OR OWNERS REPRESENTATIVE SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION PRIOR TO OPENING ANY PLANTING PITS.
- 8) NOTIFY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLING THE PLANTS IF UNSATISFACTORY SUBSURFACE CONDITIONS, SUCH AS SOIL DEPTH, ROCK, DRAINAGE PROBLEMS, UTILITIES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS ARE ENCOUNTERED. OTHERWISE, THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- 9) NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OR UNATTENDED OVERNIGHT.
- 10) ALL CORDS AND BINDINGS SHALL BE CUT FROM PLANTS PRIOR TO PLANTING. THE TOP ONE-THIRD (1/3) OF BURLAP SHALL BE REMOVED FROM THE ROOT BALL PRIOR TO BACKFILLING.
- 11) THE LANDSCAPE CONTRACTOR SHALL CLEAN THE SITE OF THEIR DEBRIS AT THE COMPLETION OF EACH DAYS WORK AND SHALL MAINTAIN THE SITE IN A REASONABLY NEAT AND CLEAN STATE THROUGHOUT THE INSTALLATION PROCESS. STREETS AND PAVED AREAS SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION MATERIALS, MUD, DIRT AND OTHER DEBRIS RESULTING FROM THE LANDSCAPE CONTRACTORS WORK
- 12) IF REQUIRED PLANT MATERIAL IS REMOVED OR DIES, IT SHALL BE REPLACED WITHIN 60 DAYS.
- 13) GRASS OR GROUNDCOVER SHALL BE PLANTED ON ALL PORTIONS OF THE LANDSCAPE BUFFER AREA (LBA) NOT OCCUPIED BY OTHER LANDSCAPE MATERIAL.
- 14) THE GROUND PLANE OF ALL INTERIOR LANDSCAPE AREA (LIA) SHALL BE PLANTED USING EITHER SHRUBS, GROUNDCOVER, OR TURF.
- 15) IT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER TO PERPETUALLY MAINTAIN ALL LANDSCAPE AREAS AND ASSOCIATED PLANT MATERIAL REQUIRED UNDER LAND DEVELOPMENT CODE REGULATIONS. THE PROPERTY OWNER SHALL ALSO BE RESPONSIBLE FOR MAINTAINING THE VERGE AND ASSOCIATED TREES WITHIN THE VERGE UNLESS THE AGENCY HAVING JURISDICTION OVER THAT VERGE ASSUMES THAT RESPONSIBILITY.
- 16) ALL UNHEALTHY OR DEAD PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR, OR BY THE NEXT PLANTING PERIOD, WHICHEVER COMES FIRST, WHILE OTHER DEFECTIVE PLANT MATERIAL SHALL BE REPLACED OR REPAIRED WITHIN THREE (3) MONTHS.
- 17) ALL PLANT MATERIAL LOCATED WITHIN A UTILITY EASEMENT THAT IS DAMAGED REMOVED DUE TO WORK REQUIRED BY THE UTILITY COMPANY SHALL BE IMMEDIATELY REPLACED BY THE OWNER.

LEGEND

- EX. FIRE HYDRANT
- EX. WATER VALVE
- EX. IRRIGATION VALVE
- EX. WATER SHUTOFF
- EX. WATER METER
- EX. MONITORING WELL
- EX. SANITARY SEWER
- EX. STORM MANHOLE
- EX. CATCH BASIN TYPE 1
- EX. CATCH BASIN TYPE 2
- EX. TELEPHONE MANHOLE
- EX. TELEPHONE PEDESTAL
- EX. ELECTRIC MANHOLE
- EX. TRANSFORMER
- EX. LIGHT POLE
- EX. POWER POLE
- EX. GUYWIRE
- EX. GAS VALVE
- EX. GAS METER
- EX. SIGN
- EX. SHRUB
- EX. TREE
- PR. LIGHT POLE
- PR. POWER POLE
- TEMPORARY BENCHMARK
- PR. SHRUB
- PR. TREE

ENGINEER:  
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PROJECT:  
**CONSTRUCTION PLANS FOR BUCKMAN STREET BRANCH 2025 RENOVATIONS**  
130 S BUCKMAN ST  
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LANDSCAPE PLAN

**BUD SET 6-29-25**

JOB NO: 25046  
HORIZ. SCALE: 1" = 10'  
VERTICAL SCALE: N/A  
DESIGNED BY: CH  
DETAILED BY: EJW  
CHECKED BY: CH  
DATE: 5/29/25

SHEET  
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of 6

PRELIMINARY

