



Addendum No. 2

Project: Grandview North Apartment Renovation **Project No.:** 202018.02
Subject: Addendum No. 2
Date: June 10, 2021

This addendum is a part of the bid documents. Acknowledge receipt on the proposal form.

1. The pre-bid meeting minutes are issued as a part of this addendum.
2. General Clarification: Existing shutters on Building B are to be removed and not replaced. No new shutters are to be included in this project.
3. General Clarification: Existing roof slopes are below a 4:12 pitch. Contractor shall provide a single layer of "Ice & Water Shield" OR (2) layers of synthetic underlayment over entire roof as required to meet shingle manufacturer's low slope roof installation requirements.
4. General Clarification: Existing texture on ceiling is to remain; contractors shall paint existing gypsum board ceiling as indicated on Finish Plans. Delete notes on I101 Finish Schedule and Section 09251 indicating a smooth ceiling is required.
5. General Clarification: Existing aluminum fascia and trim shall be removed. Contractor shall assume existing wood sub-fascia will remain. Provide new vinyl or fiber cement fascia and trim as indicated on Drawings.
6. C103: Add approximately 250 LF of 6" PVC storm piping to connect all new downspouts on south side of Building B. Connect to 12" PVC storm piping running north-south between Buildings A and B. Slope piping at 0.5% minimum; coordinate inverts with Civil Engineer.
7. A001: Building B Demolition Plan - Exterior doors in south wall of Community Room are shown to be removed; contractor shall also remove the frame. Prep for new door and frame in existing opening as required.
8. A201: Revise Building B Porch Plan per attached Drawing AD-2a. Plan illustrates typical porch layout; wider porch at Community Room shall be similar with additional columns and downspouts as indicated in revisions. Number of columns at Building A and C porches will remain (2) as shown.
9. A501: Elevation 3 - Remove note indicating to clean and paint existing door & frame. Door and frame shall be removed as indicated on Drawing A001 and replaced as scheduled on Drawing A801.
10. A501: Elevation 7 - Change "New aluminum storefront entrance" note to "New vinyl entrance" at Community Room Doors 104 and 105.
11. A501: Elevation 8 - Revised as indicated on attached Drawing AD-2b.
12. A501: Add Elevation 9 with Typical New Porch @ Building B per attached Drawing AD-2b.
13. A701: Section 1 - Revise per attached Drawing AD-2c.
14. A701: Detail 2 - Revise truss profile and add new truss profile for wider canopy at Community Room per attached Drawing AD-2d.
15. A701: Add Detail 3 with Typical Porch Eave Detail per attached Drawing AD-2e.
16. A701: Add Detail 4 with Building B - South Eave Detail per attached Drawing AD-2f.
17. A701: Add Detail 5 with Building B, North-South Porch Section per attached Drawing AD-2g.
18. A801: Door Schedule, Door 103 - Change size to a single 4'-0"x6'-8" door. Change door and frame materials from vinyl and existing to aluminum. Head and jamb details shall be similar to 7&8/A801, but with aluminum frames instead of vinyl frames shown.
19. A801: Delete entire note indicating hollow metal frames to be Masonite Fast Frame.



Addendum No. 2

20. A801: Hardware Schedule, Set #1 - Delete auto door operator and push plate; provide keypad as indicated.
21. A801: Door Elevation 5 - The following note was only partially visible: Jeld Wen Design Pro Fiberglass Craftsman Top View 3-Light, 2-panel or equivalent.
22. All Plan Drawings & A801: Revise Door Frame Elevation D per attached Drawing AD-2h.
23. A801: Door Schedule, Door 02A - delete 20 minute rating; this is an exterior door no rating is required.
24. A801: Glazing in Door Frame Elevation C shall be Type 2.
25. A801: Door Schedules, Doors 101, 102, 110, 111, 02, and 02A - Change door frame material from hollow metal to solid wood.
26. The bid date remains Thursday, June 24, 2021 at 4:00 p.m.

Prepared by

John A. Hawkins, AIA
Project Architect



End of Addendum No. 2 (13 total pages with Attachments)

enclosures: Pre-Bid Meeting Minutes + sign-in sheet

Drawings: AD-2a, AD-2b, AD-2c, AD-2d, AD-2e, AD-2f, AD-2g, and AD-2h

file: 202018.02/E-1



PRE-BID MEETING MINUTES

Project: Grandview Manor North Apartment Renovation
Subject: Pre-Bid Meeting
Location: Grandview Manor North Community Room
Attendees: (see sign in sheet)

Project No.: 202018.02
Date: May 6, 2021
Time: 9:00 am

I. General and Clerical Issues

I. Introductions:

- A) Owner (Blue River Services): Paula Craig, Suann Stroud, Housing Staff
- B) Civil Engineer: Jason Copperwaite, Primavera
- C) Architect: John Hawkins

2. Project Description: Renovation of 25 apartments, common areas, buildings and grounds. Work will be completed in phases. Contractor to cooperate with Owner to relocate tenants so work can be completed one building at a time. Currently, units 102, 104, 105, 106, 107, 114, 124, 125, 129 and 131 are vacant.

3. Confirmation of Bid Date & Bid Procedures

A) Bid Date: June 24, 2021 at 4:00 p.m. Email is ok. Email to brhoudir@brsinc.org

B) Bid must include:

- 1) Proposal Form with Schedule of Values (Owner has provided an Excel spreadsheet)
Suggest that contractors also submit a PDF of the filled out spreadsheet and not just the Excel file, as the Excel file could be inadvertently altered.
- 2) Sub-contractor list
- 3) Detailed description of the scope of services to be provided
- 4) Description of similar project experience
- 5) Resumes of key project staff
- 6) Proposed timeline for completion. It is acceptable to propose total calendar days in lieu of specific dates.
- 7) References
- 8) Federal Tax ID number
- 9) Bid Security (5% of bid including all alternates)
- 10) Acknowledge Addenda on Proposal Form

C) Davis Bacon wage scale.

- 1) Wage scale attached to bid packet. Any updates will be issued by addendum.
- 2) Each worker over 40 hours per week must be paid overtime at 1-1/2 x wage.
- 3) GC will be responsible for collecting payroll and fringe documentation from sub-contractors and submitting monthly with each pay application.
- 4) Sole proprietors and owners of company are exempt from Davis Bacon wages.
- 5) Housing Staff will interview workers on the jobsite, so workers need to be informed as to how much they are making on this particular job.

D) Project is exempt from Indiana Sales tax and Federal excise tax. Owner will provide certificate.

E) Work will be awarded to one general contractor. Sub-contractors bid to G.C.'s. Note security camera equipment (cameras and multiplexer) are by Owner.

F) Owner will furnish Builders Risk Insurance for the building only. GC must have insurance for tools and equipment, and stored items (both on and off site stored items).



G) Contractors will be required to provide proof of liability insurance (Workers Comp & General).

H) Section 3 Federal requirements apply to this project. GC will be required to solicit Section 3 persons for employment (distribute Section 3 income and documentation).

1) Section 3 Employees are persons making 80% of the average median income for Washington County, Indiana

2) Contractor will also be required to complete Section 3 documentation.

4. Explanation of Alternate Bids.

A) Alternate No. 1: New meter centers

II. Scheduling and Coordination

1. Working Conditions & Special Issues: Owner intends to completely vacate one building. Work to be completed in three phases. Do not disrupt occupied tenants. Cooperate with Owner's responsibility to relocate tenants to allow phased work. Building A will be phase one; then Building C; final phase will be Building B.

2. Construction Schedule: Contractor to propose.

III. Administrative Issues

1. All questions should be directed to john.hawkins@koverthawkins.com direct phone: (812) 913-4606.

2. Specific sitework questions: jcopperwaite@ppa-eng.com phone: (812) 738-4124

3. Bids are due Thursday, June 24th no later than 4:00 p.m. EDT.

A) Late bids will not be accepted.

B) Bids should be mailed to the attention of Housing Director, 156 Autumn Ridge Drive, Corydon, IN 47112 OR

C) Emailed to Suann Stroud: sstroud@brsinc.org (812) 738-8016

4. Post-bid Schedule: Intent is to award contract in early July, after the BRS board meeting

5. Performance and payment bonds are required.

6. Mobilization & Startup: upon award

7. Any contractor wishing to tour the site should contact Blue River Housing for access.

IV. Technical Issues

1. Addenda Items. Addendum I previously issued postponed bid date to June 24, 2021.

2. Site drawings were posted to website today (May 6, 2021).

file: 202018.02 / E-1

SIGN-IN SHEET

Project: Grandview North Apartment Renovation

KHA Project Number: 202018.01

Subject: Pre-Bid Meeting

Date: Thursday, May 6, 2021 at 9:00 AM

Name	Company	Phone	E-mail
John Hawkins	KovertHawkins	(812) 913-4606	john.hawkins@koverthawkins.com
Paula Cring	BRS		
Suann Stenel	BRS		
Jennifer Cortez	BRS		
Kaye Burrell	BRS		
Paula Cring	BRS		
Heather McRae	BRS		
Sarah Hebersold	BRS		
Jan [Signature]	TCI	812-620-2638	Templeincg@gmail.com
Dennis Simpson	Dennis Off + Com	812 989 0203	dsimpson@dennisoffcompany.com
Tim Ernstberger	Miranda	502-777-1485	ternstberger@mirandaconstruct.com

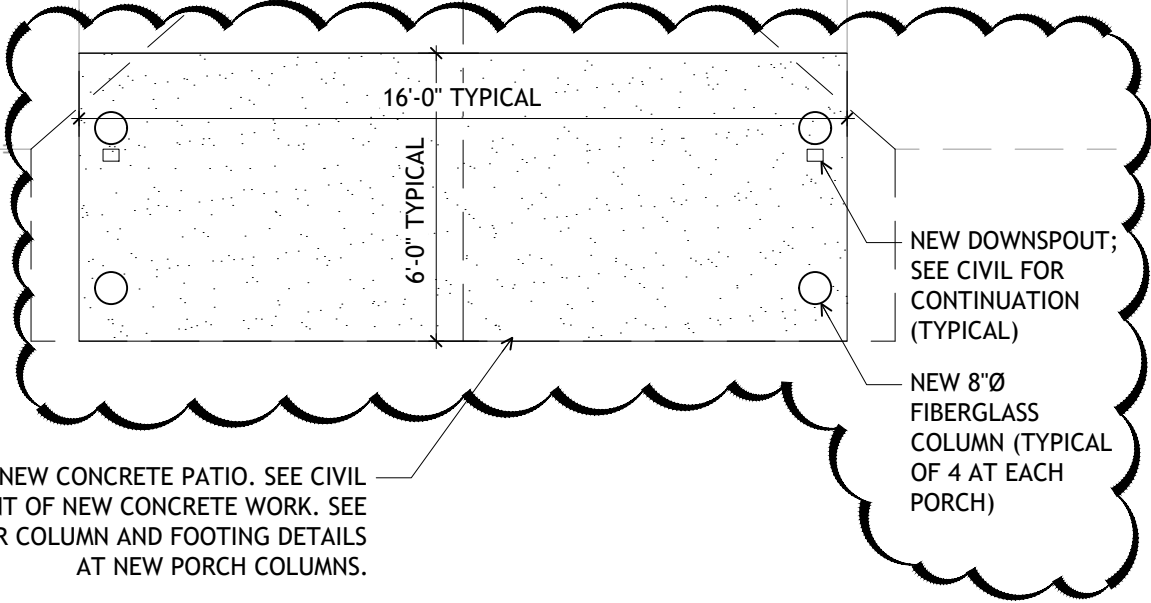
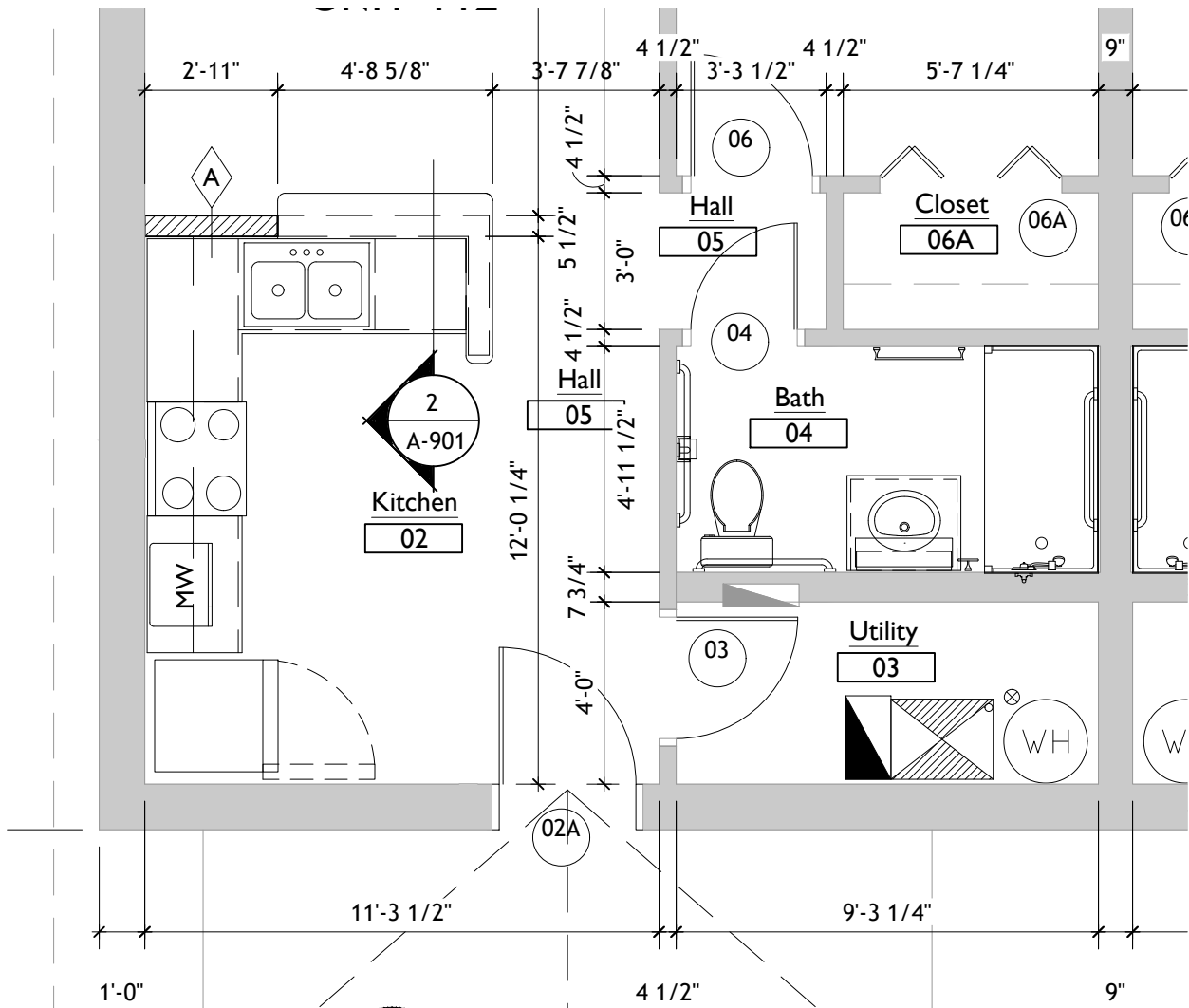
Name	Company	Phone	E-mail
Micah McRae	McRae Enterprises	812-725-4446	Micah.McRae@McRaeEnterprises.com
Ben Eaves	Pella windows	502-909-2077	Bene@Pellaoki.com
Kari Durson	Pella Windows	502-909-7982	kariid@pellaki.com
Cory Smith	H2O Plumbing	812 923-8100	Cory-Hearsay@yahoo.com
Rianita Mullins	H2O Plumbing	812-923-8100	myh2oplumbing@gmail.com
Carrie Shinkle	Walker Const.	812.723.3417	carrie@buildwithwalker.com
Alexis Johnson	Schiller	231-408-7760	alexis.johnson@goschiller.com
Julia Dowell	Schiller	502-309-0606	jdowell@goschiller.com

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Jeffersonville, IN 47130
812. 282. 9554
812. 282. 9171 FAX
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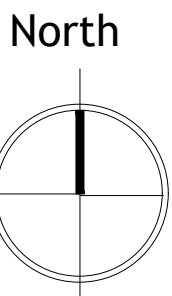


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Drawn	HG
Checked By	jh
Project No.	202018.02
Date	06/10/2021
Revisions	1
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Certified By	

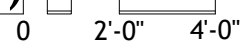


TYPICAL: NEW CONCRETE PATIO. SEE CIVIL FOR EXTENT OF NEW CONCRETE WORK. SEE A701 FOR COLUMN AND FOOTING DETAILS AT NEW PORCH COLUMNS.



Building B Typ. Porch Plan (Revised)

full size plot scale: 1/4"=1'-0"

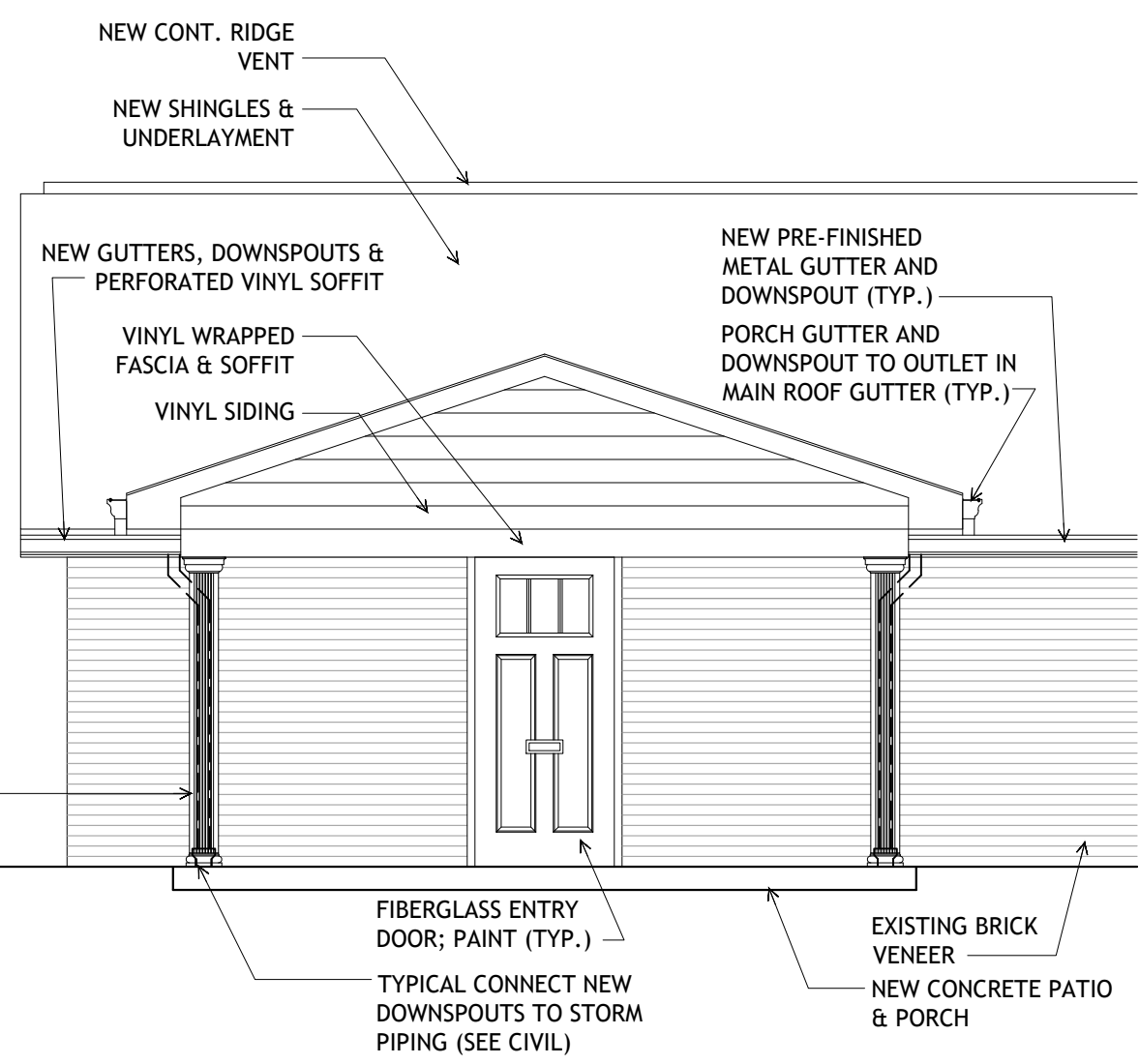


2020 Renovations
Grandview Manor North Apartments
508 E. Grandview Drive, Salem, IN 47167

Sheet
AD-2a

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Checked By	jh
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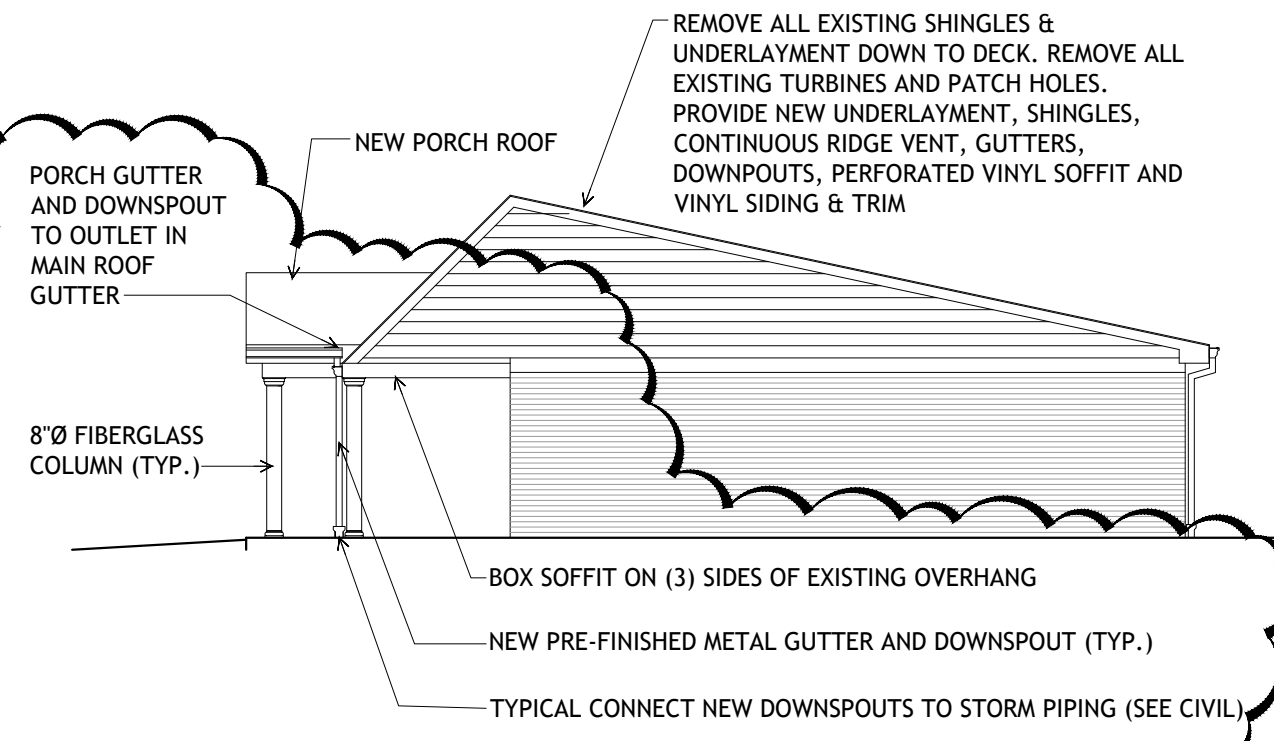
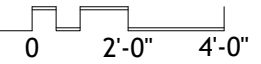
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Typical New Porch @ Building B

9
A501

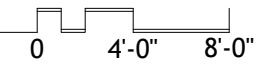
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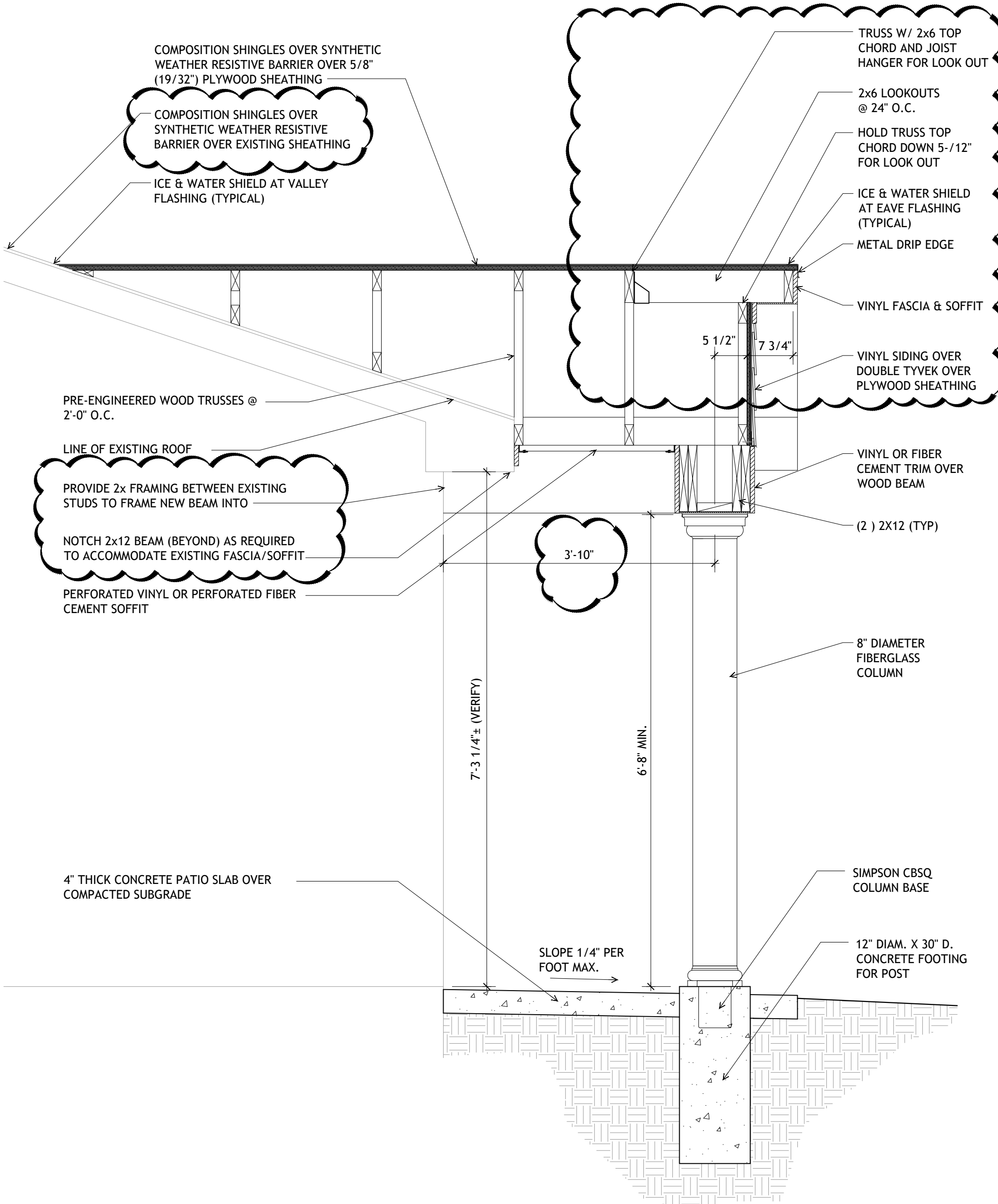


East Elevation (West Mirrored) Building B

8
A501

full size plot scale: 1/8"=1'-0"





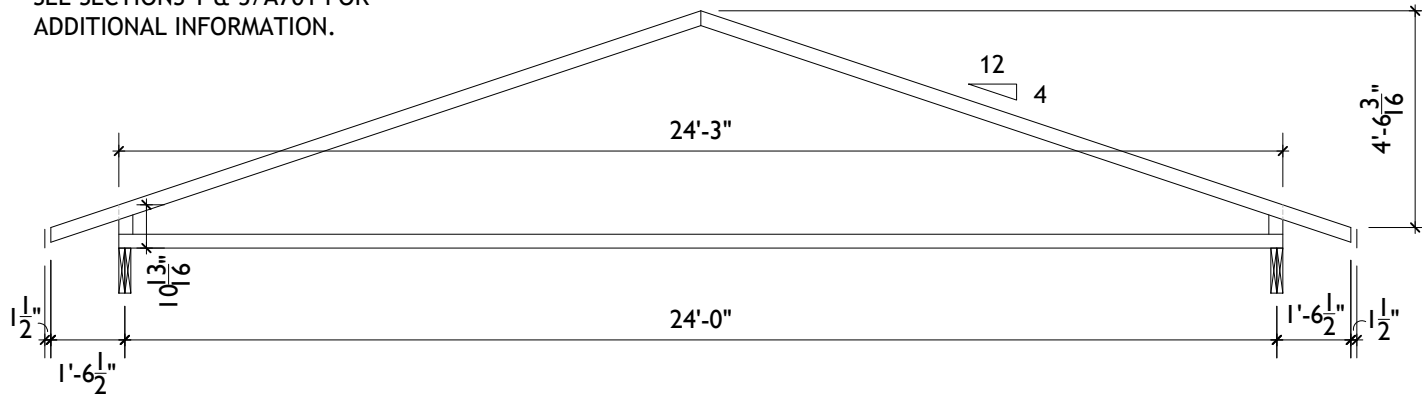
Buildings A & C - East-West Porch Section

I

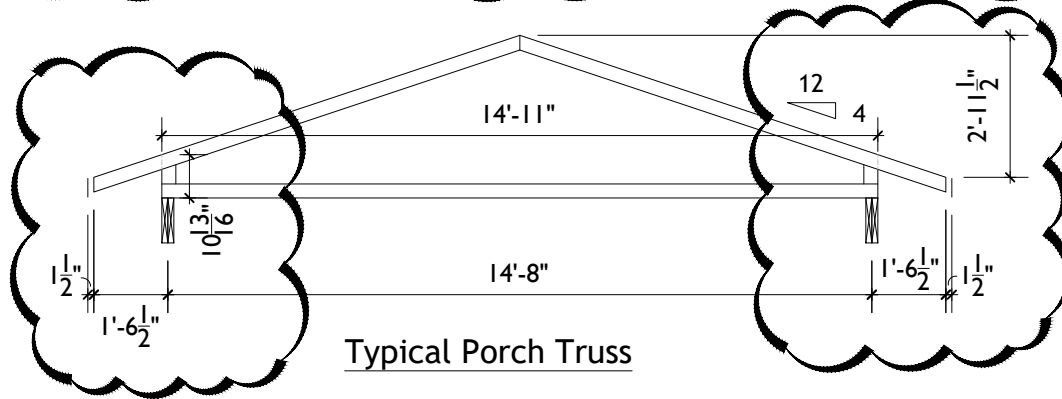
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0 8" 1'-4"

NOTE:
 PROFILES FOR VALLEY SET TRUSSES
 ON EXISTING ROOF ARE NOT
 SHOWN; PROVIDE AS REQUIRED.
 SEE SECTIONS 1 & 5/A701 FOR
 ADDITIONAL INFORMATION.



Truss @ Building B - Community Room Porch

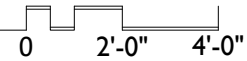


Typical Porch Truss

2
 A-701

Truss Diagrams

full size plot scale: 1/4"=1'-0"



AD-2D

Sheet

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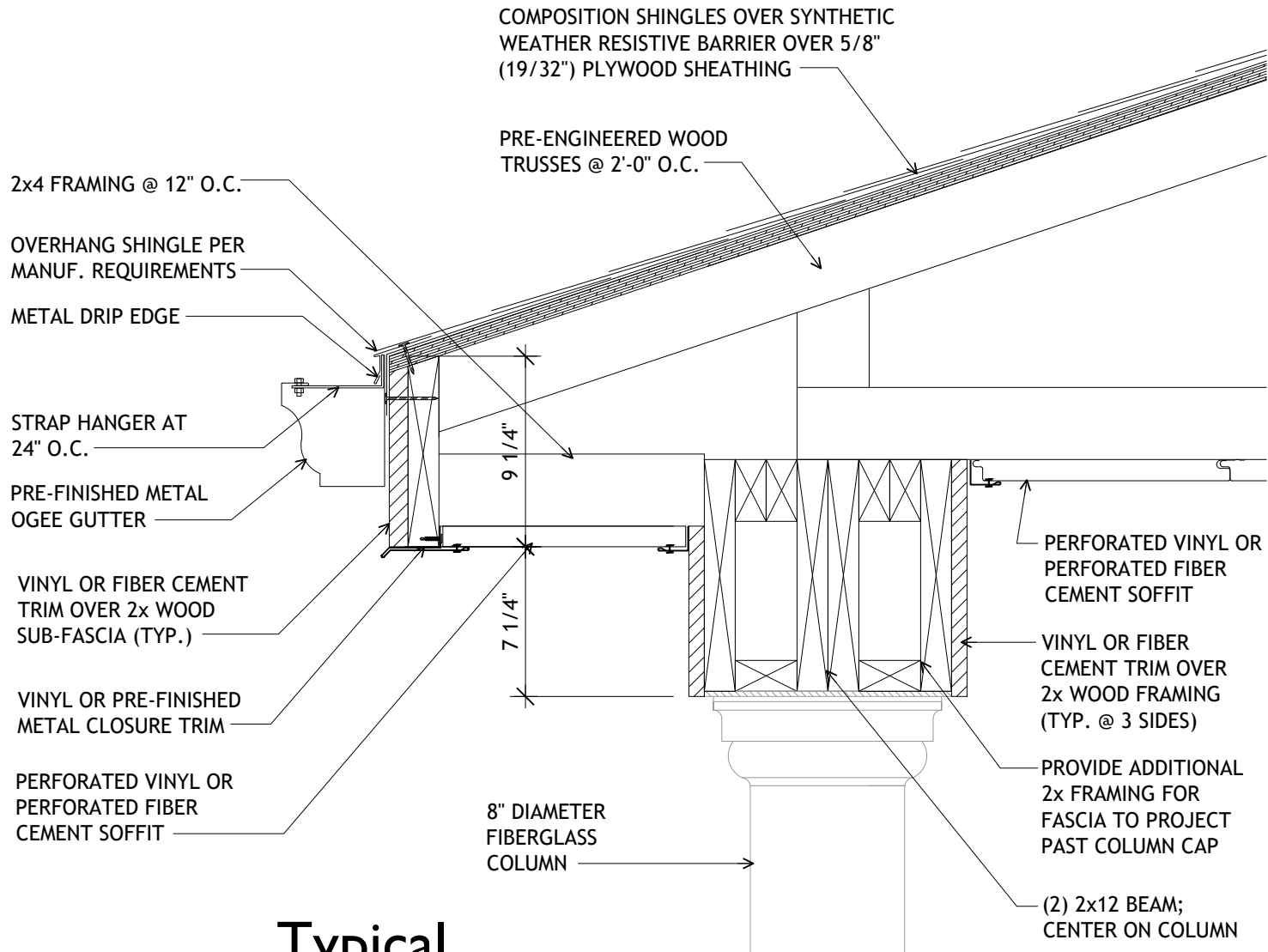
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Typical Porch Eave Detail

3

A-701

full size plot scale: 3/4" = 1'-0"

0 8" 1'-4"

AD-2e

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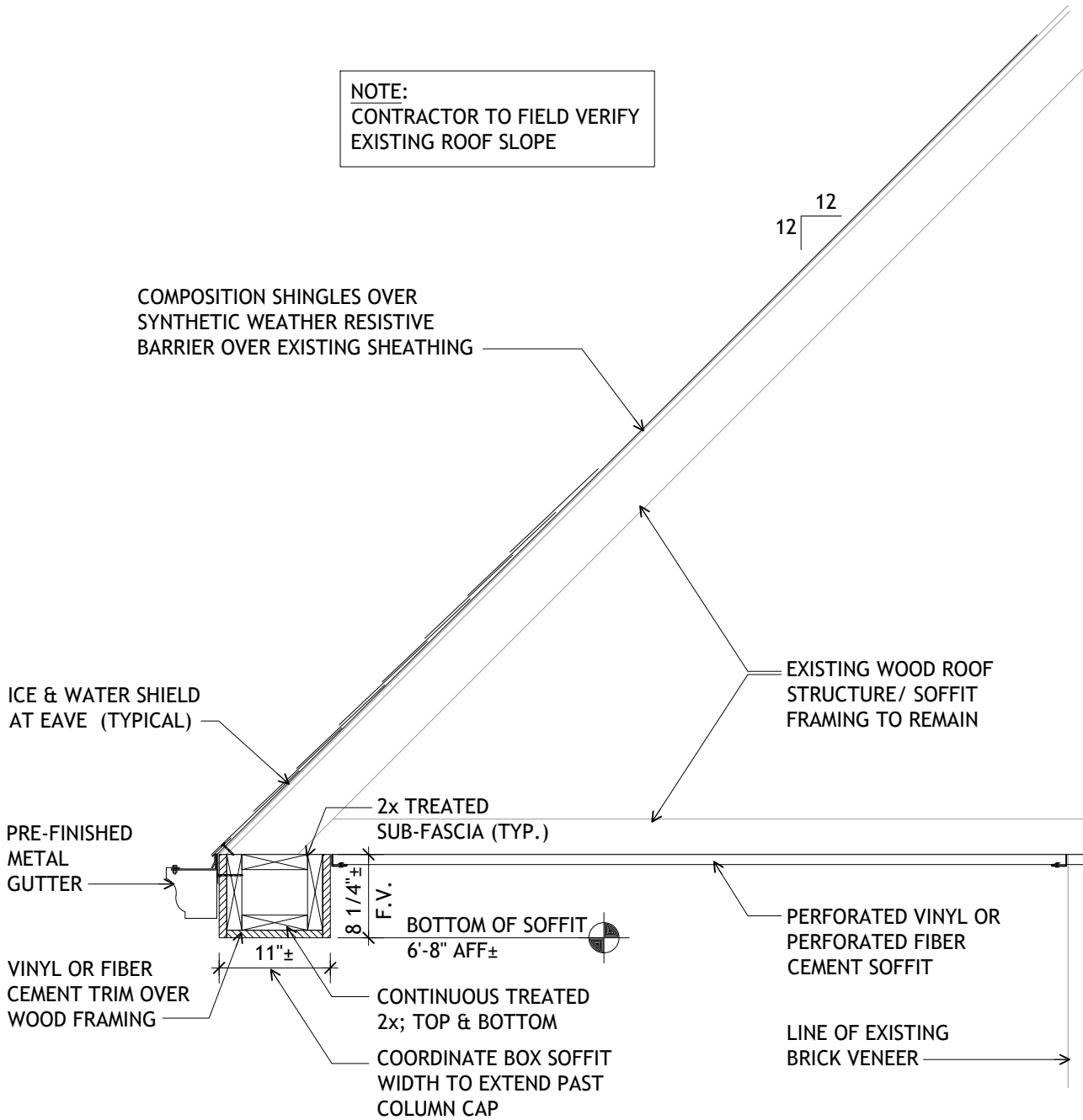
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NOTE:
CONTRACTOR TO FIELD VERIFY
EXISTING ROOF SLOPE



Building B - South Eave Detail

4
A-701

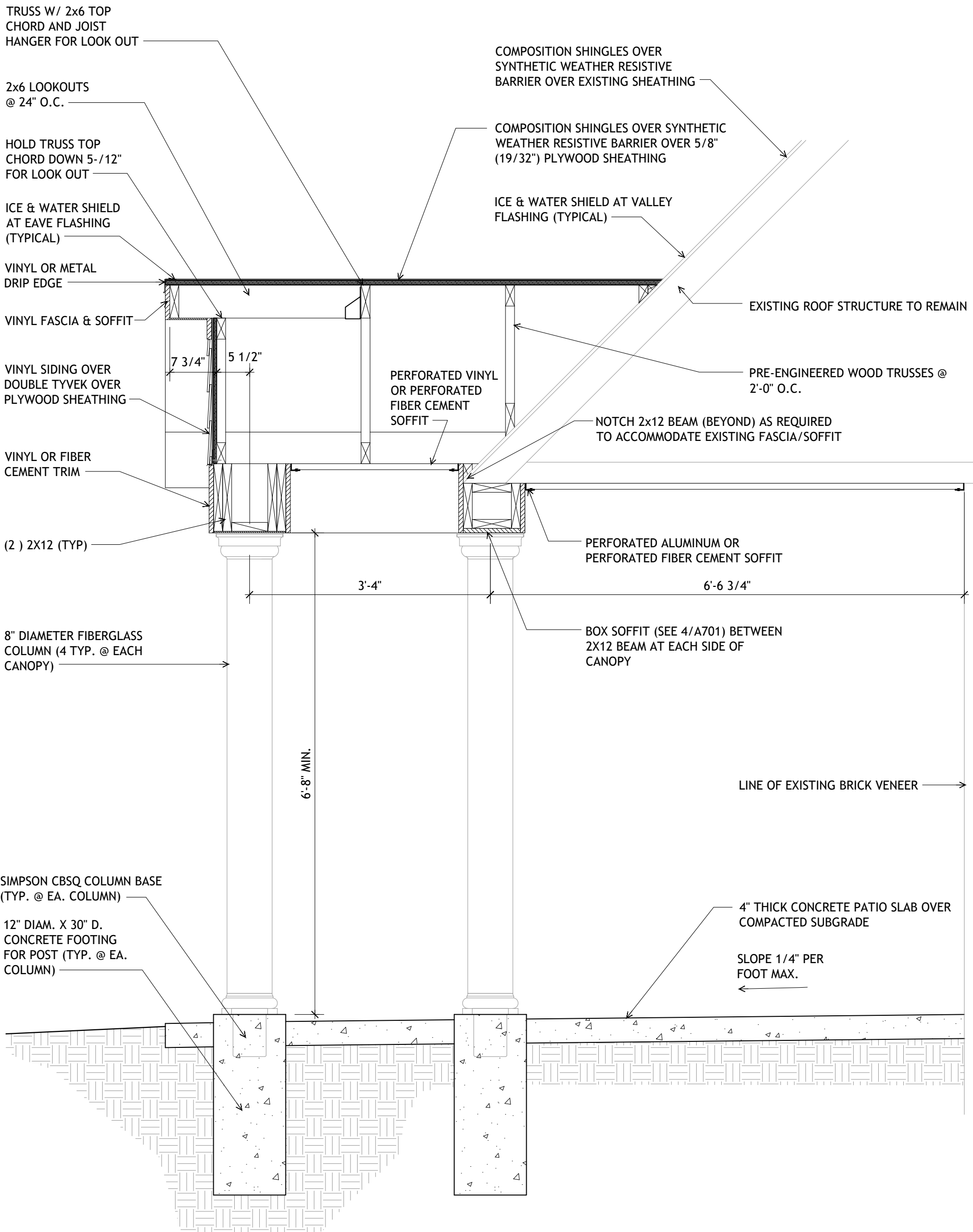
full size plot scale: 3/4" = 1'-0"

0 8" 1'-4"

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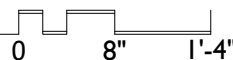
AD-2f



Building B, North-South Porch Section

5
A-701

full size plot scale: 3/4" = 1'-0"



AD-2g

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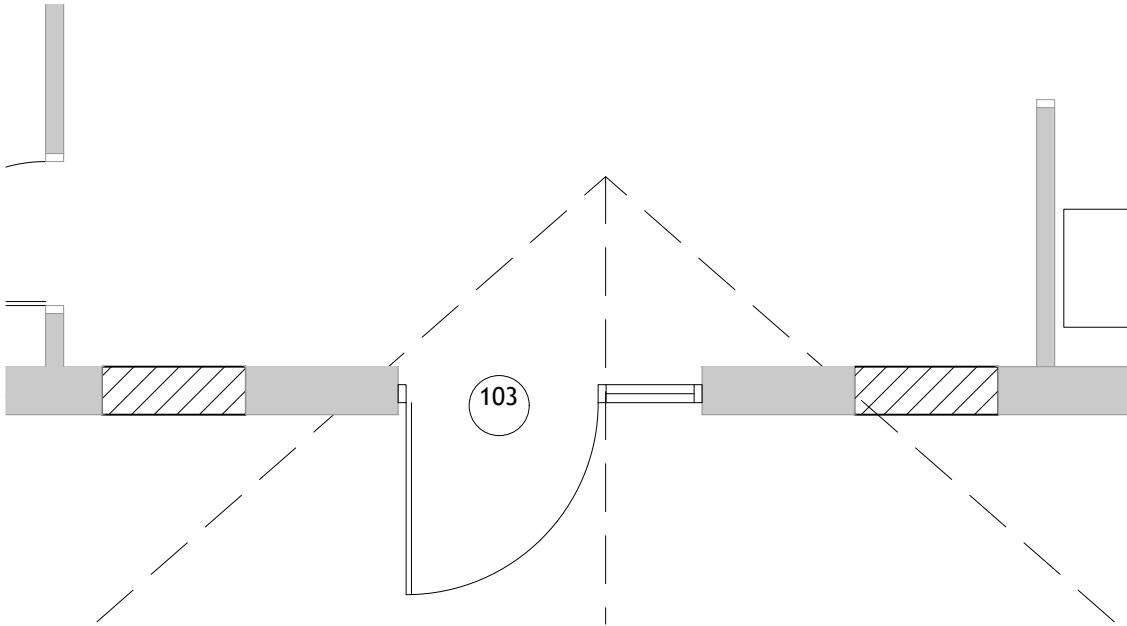
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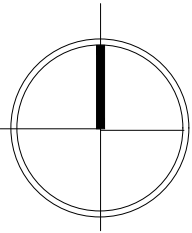


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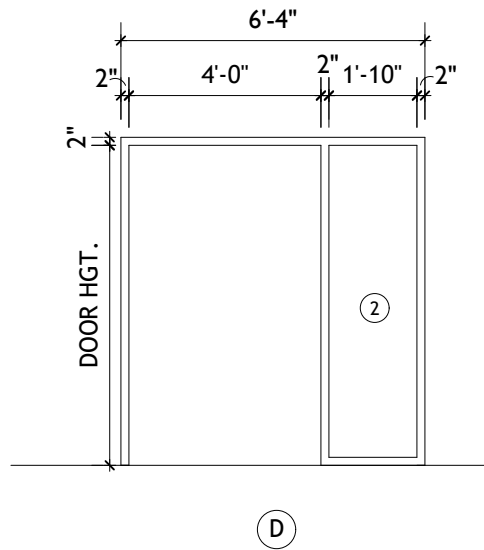
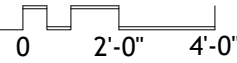


North



Building B Partial Enlarged Plan

full size plot scale: 1/4"=1'-0"



Door Frame Elevations

scale: 1/4" = 1'-0"

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AD-2h