



## Addendum No. 2

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**Project:** 2017 Renovations  
**Manchester Elementary**  
Aurora, Indiana

**Proj. No:** 1649.02

**Date:** November 13, 2017

**This addendum is a part of the bid documents. Acknowledge receipt on the Proposal Form.**

### General

- I. A Pre-Bid Conference was held at Manchester Elem on November 8th. Agenda and attendance list attached.

### Specifications

- I. Section 00301 - Proposal Form Part I  
This section is revised and reissued with this addendum
2. Section 01110 - Summary of Work  
This section is revised and reissued with this addendum
3. Section 01130 - General Construction Requirements  
Paragraph 1.03 D: As a clarification, this paragraph is a general note referring to site demolition. There are no buildings scheduled to be demolished.
4. Section 01230 - Alternates  
Paragraph 1.04 D, Item a: Delete the words "Workroom A107".  
New flooring and wall base in this room shall be included in the Base Bid.
5. Section 01230 - Alternates  
Alternate No. 1 is revised as follows:

#### **A. ALTERNATE NO. 1: Restroom Renovations**

- I. Give the amount to be ADDED to the Base Bid for the following:
  - a. All demolition work shown on drawing A-002 of existing Girls Shower, Boys Shower, Girls Toilet, Boys Toilet and Janitor.
  - b. All work shown on drawing A-102 for general, mechanical, plumbing and electrical construction work related to Boys Toilet B106, Girls Toilet B107, Janitor B108.
  - c. All work shown on detail 1 on drawing A-102 for Toilet Room B105a.
  - d. All work shown on drawing A-201, detail 2, Girls B107 and Boys B106 Restroom Plan
  - e. All work shown on drawing A-201, detail 3, Pre-K B105a Restroom Plan
  - f. All work shown on drawing A-402, ceilings for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - g. All work shown on drawing I-102, finishes for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - h. All work shown on drawing I-203, detail 5, floor patterns for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - i. All work shown on I-301, details 1, 2, 3, 4, 5, 6, 7.
  - j. All work shown on P-101 for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - k. All work shown on P-102 for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - l. All work shown on P-103 for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - m. All work shown on M-101 for Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - n. All work shown on E-002 of existing Girls Shower, Boys Shower, Girls Toilet, Boys Toilet and Janitor.
  - o. All work shown on E-101 for lighting in Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
  - p. All work shown on E-201 for power in Boys Toilet B106, Girls Toilet B107, Janitor B108 and Toilet B105a.
2. Base Bid to include:
  - a. Saw cutting and patching floor of existing Boys Shower to install drain line for new sink in Pre-K B105.
  - b. Installing new 1/2" domestic hot and cold water lines from Boys Shower for new sink in Pre-K B105
  - c. No other work related to existing Girls Shower, Boys Shower, Girls Toilet, Boys Toilet and Janitor.



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6. Section 01230 - Alternates  
Add the following Alternate No. 7:
  - G. **ALTERNATE NO. 7: Locker Refinishing**
    1. Give the amount to be ADDED to the Base Bid as required by the Contract Documents for the following:
      - a. Refinishing existing academic lockers located in Corridor B153 and Corridor B158 designated by keynote diamond 7 on drawing I-102.
    2. Base Bid to include:
      - a. Removal of carpet, mastic and edge trim from top of lockers.
7. Section 01230 - Alternates  
Add the following Alternate No. 8:
  - H. **ALTERNATE NO. 8: Parking Expansion**
    1. Give the amount to be ADDED to the Base Bid as required by the Contract Documents for the following:
      - a. All parking lot demolition shown on construction drawings C-001
      - b. All parking lot improvements shown on C-101 and C-102
      - c. All parking lot grading improvements shown on C-201
    2. Base Bid to include:
      - a. Parking lot demolition work shown on drawing AD-2f
      - b. Parking lot improvements shown on drawing AD-2g and AD-2h
      - c. Parking lot grading and drainage shown on drawing AD-2i
8. Section 01510 - Temporary Utilities  
As a clarification, Contractor is only responsible for providing temporary utilities not available from Owner's existing utility services as required to perform work per Contract Documents i.e. special electrical voltage, ventilation, etc.
9. Section 08211 - Flush Wood Doors  
Paragraph 2.05 B. Revise to read as follows:
  - B. Factory Finish:
    1. All doors shall be pre-finished at the factory.
    2. Selected finish color must be able to be matched.
    3. Transparent Finish shall match finish requirements indicated in AWI-"TR6".
    4. Comply with referenced AWI "Factory Finishing" for Premium Grade factory finish systems.
    5. Finish wood doors using three coats of water-clear, 100% solids, modified acrylic urethane, cured immediately with ultra-violet light. Factory seal all doors on all 6 sides.
10. Section 09520 - Sound Absorptive Panels  
Paragraph 2.015 B.4 Revise to read as follows: .85 NRC unit rating.
11. Section 09840 - Lapendary Acoustical Panels  
Add this section in its entirety.
12. Section 09915 - Electrostatic Painting  
Add this section in its entirety.



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13. Section 10100 - Visual Display Boards  
Paragraph 1.01 Item A, Add "3. Enclosed Markerboards"  
Paragraph 2.02. Add Item:  
"G. Enclosed Markerboards"  
1. Laminate, enclosed markerboard equal to "Claridge Products" #518-4PL
14. Section 10435 - Outdoor LED Signs  
Paragraph 2.01, Item A, add the following:  
2. "Wilson Electronic Displays"  
Dayton, Ohio 45403  
(937) 776-5873
15. Section 11132 - Projection Screens  
Add this section in its entirety.
16. Section 13125 - Gymnasium Bleachers-Wood Seats  
Paragraph 2.01, Item A, add the following:  
2. "Irwin Seating Company"  
775 Bennett Court, Carmel, IN 46032  
(317) 575-8610
17. Section 15440 - Plumbing Fixtures  
Paragraph 1.01, Item A, Add "8. Garbage Disposers."  
Paragraph 2.02, Add "H. Garbage Disposers: Item 1. "In-Sink-Erator"."

### Drawings

1. Drawing C-001  
Drawing AD-2f shall replace this drawing as the Base Bid. The original C-001 shall be used as basis for Alternate 8.
2. Drawing C-101  
Drawing AD-2g shall replace this drawing as the Base Bid. The original C-101 shall be used as basis for Alternate 8.
3. Drawing C-102  
Drawing AD-2h shall replace this drawing as the Base Bid. The original C-102 shall be used as basis for Alternate 8.
4. Drawing C-103 (South Fence Layout Plan) Plan Adjustments  
Replace the South Fence Layout Plan detail with new layout per attached Drawing AD-2c.
5. Drawing C-104 (Playground Layout Plan) Sidewalk Adjustments  
Revise width of new concrete walk to playground from existing drive from 6'-0" to a total of 10'-0".  
Coordinate walk location with Architect.
6. Drawing C-104 (Construction Notes)  
Delete Notes 1 and 2.
7. Drawing C-201  
Drawing AD-2i shall replace this drawing as the Base Bid. The original C-201 shall be used as basis for Alternate 8.
8. Drawing A-001 and A-002 (Demolition Plan Keynotes)  
Add Keynote D46 as follows:  
D46 Sawcut and remove existing concrete slab as required for installation of new concrete footings. See Drawing AD-2a for additional information.



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9. Drawing A-002 (Area "B" Demolition Plan)  
Delete Keynote D15 from Northeast Classroom adjacent to Gang restrooms across from Gymnasium. (This room is labeled as Pre-K B105 on Architectural Plans). Existing flooring in this room is asbestos tile. Abatement will be performed through Owner's separate contractor.  
  
Add Keynote D20 to South wall of Northeast Classroom adjacent to Gang restrooms across from Gymnasium for an 8'-0" chalkboard.  
Add (2) Keynotes D19 to South wall of Northeast Classroom adjacent to Gang restrooms across from Gymnasium for 4'-0" tackboards.
10. Drawing A-002 (Area "B" Demolition Plan)  
Add Demolition Plan Keynote D46 in Corridor B101 at Boys and Girls Toilet across from Gymnasium B117.  
  
In Corridor B158, Add keynote D31 extending from Science Room 22 across full width of Corridor.
11. Drawing A-101  
Add Restroom Lintel Plan 1/A-101 per attached Drawing AD-2a.
12. Drawing A-102 (Area "B" Architectural Floor Plan)  
Add Plan Keynote A3 in Corridor B101 outside Boys Toilet B106 and Girls Toilet B107. Install new floor slab as required due to installation of new concrete footings. See Restroom Lintel Plan per attached Drawing AD-2a for additional information.
13. Drawing A-402 (Area "B" Reflected Ceiling Plan)  
Opening to Corridor B101 from Boys Toilet B106 and Girls Toilet B107 is NOT masonry. Height for opening is correct. See attached Drawing AD-2b for additional information.
14. Drawing A-801 (Door Schedule)  
Revise width of door B102 to 3'-0"  
Revise width of door B117a to 2'-6"  
Revise width of door B117b to 2'-6"
15. Drawing A-901  
Add Restroom Lintel Section 2/A-901 per attached Drawing AD-2b.
16. Drawing A-901 (Interior Signage Elevations)  
Change dimensions of Women's Restroom sign to read 6-1/2" x 9".
17. Drawing Q-101 & Q-102 (Equipment Plans)  
Equipment Plan Keynotes: Add Keynote "Q15" to read as follows:  
Visual Display, Markerboard with Staff Lines-  
4' high unit surface-mounted to wall;  
Number XX' indicates length in feet  
  
Equipment Plan Keynotes: Add Keynote "Q16" to read as follows:  
Visual Display, Enclosed Markerboard-  
4' high unit surface-mounted to wall;  
Number XX' indicates length in feet
18. Drawing Q-102 (Area "B" Equipment Plan)  
In Music Room B-109, Revise Keynote in Northeast corner of room on East wall from "Q1" to "Q15". Length of visual display board does not change.
19. Drawing Q-102 (Area "B" Equipment Plan)  
In Staff Workroom B-110, Delete (2) keynotes "Q1" on East wall.  
Add "Q1" at 16'-0" in length. Unit shall be centered on East wall with projection screen mounted above.  
Add (2) "Q16" keynotes (one on each side) of main markerboard.

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20. Drawing Q-201 (Casework Elevations)  
Elevation 5/Q-201: Change tall cabinet on left to a wardrobe unit. Dimensions and components shall be similar to Wardrobe unit in classrooms.
21. Drawing Q-202 (Casework Elevations)  
Revise Elevation 1/Q-202 per attached Drawing AD-2e.
22. Drawing I-101 (Finish Schedule)  
Wall Finish Keynote PT4: Change paint color to Sherwin Williams 6796 Blue Plate.  
  
Specialty Keynote 3: Change the words "Field Stain" to "Pre-finished".  
  
Specialty Keynote 7: Revise to read as follows:  
  
Existing Metal Lockers:  
Electrostatically paint, all exposed surfaces;  
Color to be selected by Architect  
Work to be included in Alternate No. 7.
23. Drawing I-102 (Area "B" Interior Finish Plan)  
In Media Center B144, delete ALL Specialty Keynote "11" associated with existing library shelving.  
As a clarification, this scope of work will be included as part of the Media Center Furniture & Shelving Cash Allowance.  
Specialty Keynote "11" associated with new casework in Southeast corner of the room shall be changed to Type "4".
24. Drawing I-102 (Area "B" Interior Finish Plan)  
In Gymnasium B117, as a clarification, wall painting shall extend from finished floor to bottom of existing acoustical spray treatment that extends down from the roof deck onto the upper wall surfaces.
25. Drawing P-101 (Area "B" Sanitary Plumbing Plan)  
Add garbage disposer (GD) to sink (S-1) in Staff Workroom B110. See plumbing schedule. Coordinate with electric and casework requirements.
26. Drawing P-101 (Area "B" Sanitary Plumbing Plan)  
Drawing – P-101  
Replace electric water cooler (EWC) with electric water cooler (**EWC-2**) at east side near Boys Toilet 106. EWC on west side to remain as originally noted (near Girls Toilet B107). See plumbing schedule.  
  
Replace electric water cooler (EWC) with electric water cooler (**EWC-2**) adjacent to Mechanical A135. See plumbing schedule.
27. Drawing P-103 (Plumbing Fixture Schedule)  
ADD item "GD": "Garbage Disposer: "In-Sink-Erator" "Badger 5", 1/2hp, galvanized steel, continuous feed."
28. Drawing P-103 (Plumbing Fixture Schedule)  
Add Item **EWC-2**:  
Electric Water Cooler (ADA) - "Halsey Taylor" "**HTHBHVR8BL-NF**", bi-level, dual unit; stainless steel finish, non-filtered, wall mount, vandal resistant, bottle filler; mount spout location of lower unit per ADA. Cold water input 1/2", sanitary 1-1/2", vent 1-1/2".
29. Drawing E-201 (Panel Schedule C4L)  
Change 20A, 1-pole spare breaker 37 to be labelled as Garbage Disposal. Provide #12 wire to new garbage disposal in Staff Workroom B110.



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30. Drawing E-202 (Area "B" Power Plan)

Add power and ON/OFF switch for garbage disposal in Staff Workroom BI 10 per attached Drawing AD-2d.

Prepared by,

**Hal E. Kovert, AIA**



file: 1649.02/E-1

Attachments: Pre-Bid Sign-in Sheet, Pre-Bid Agenda  
Specification sections: 00301, 01110, 09840, 09915, 11132  
Drawings: AD-2a, AD-2b, AD-2c, AD-2d, AD-2e, AD-2f, AD-2g, AD-2h, AD-2i

Total Pages: (31) Thirty-one

End of Addendum No. 2



## PRE-BID MEETING AGENDA

**Project:** Manchester Elementary  
2017 Renovations

**Project No.:** 1649.02

**Subject:** Pre-Bid Meeting

**Date:** November 08, 2017

**Location:** Manchester Elementary  
Aurora, IN

**Time:** 4:00 p.m.

### I. Project Description

- I. Renovations of various interior areas

### II. Bidding Outline

- 2. Confirmation of Bid Date & Bid Procedures
  - A) Bid Date: November 16th , 2:00 PM (EASTERN STANDARD TIME)
  - B) Bid Location: South Dearborn Schools Administration Building, Aurora, IN
  - C) Submittals with Bids must include (2) copies of the following items:
    - 1) Proposal Form 96
      - a. Acknowledge Addenda Numbers on Proposal Form
      - b. Acknowledge Contingency Allowance on Proposal Form
    - 2) Financial Statement
    - 3) Bid Bond
  - D) Schedule of Values and Subcontractor List is NOT required with bid
  - E) Wage Scale - None Required
- 3. Indiana Sales Tax Exemption (*Cannot guarantee other states*).
- 4. Explanation of Alternate Bids (*Refer to Section 01230 for full description*)

### III. Scheduling and Coordination

- I. Working Conditions & Special Issues
  - A) Building will be occupied except during scheduled school breaks
  - B) Suggested to complete most interior work during Summer 2018. Start Work May 29th

### IV. Administrative Issues

- I. Post-bid Schedule
  - A) Board Meeting to Award Contract: November 20th.
  - B) Funding in place
- 2. Project Completion
  - A) To be determined

### V. Technical Issues

- I. Questions



## **SIGN-IN SHEET**

**Project:** Manchester Elementary  
2017 Renovations  
Aurora, Indiana

**Subject:** Pre-Bid Meeting

**Date:** Wednesday, November 8, 2017 at 4:00 PM

<b>Name</b>	<b>Company</b>	<b>Email</b>	<b>Phone</b>
Doug Leopold	Stapleton Electric	<a href="mailto:doug@stapletonelectric.com">doug@stapletonelectric.com</a>	513-353-1007
Jeff Poole	Poole Group	<a href="mailto:jpoole@poolegroupinc.com">jpoole@poolegroupinc.com</a>	812-654-2968
Mike Schwebach	Schwebach & Son Painting	<a href="mailto:schwebachandsonpainting@comcast.net">schwebachandsonpainting@comcast.net</a>	513-535-1300
Shelley Miller	Aztec Services	<a href="mailto:smiller@aztecservices.com">smiller@aztecservices.com</a>	513-400-6155
Doug Seyferth	Seyferth Bldg. Co.	<a href="mailto:doug@seyferthbuilding.com">doug@seyferthbuilding.com</a>	513-353-9001
Dave Middendorf	Century Construction	<a href="mailto:davemiddendorf@centuryconstruction-inc.com">davemiddendorf@centuryconstruction-inc.com</a>	859-331-6626
Alan Forsythe	Performance Construction	<a href="mailto:performanceconstruction@fuse.net">performanceconstruction@fuse.net</a>	513-598-5100
Jeff Laub	J & L Electric	<a href="mailto:jeff@jlelectricinc.com">jeff@jlelectricinc.com</a>	812-654-2187
Rodney Crabtree	RC Electric	<a href="mailto:RCElectric97@hotmail.com">RCElectric97@hotmail.com</a>	812-654-2572
Brad Scheidt	Delta Electric	<a href="mailto:brads@deltaelectrical.us">brads@deltaelectrical.us</a>	513-421-7744
Brian Johnston	BJ's Plumbing Inc	<a href="mailto:bjplumbing@embarqmail.com">bjplumbing@embarqmail.com</a>	812-432-3046
Robbie Klein	Graybach LLC	<a href="mailto:robbie.klein@graybach.com">robbie.klein@graybach.com</a>	513-381-4868
Tom Lana	Hilbert & Pope Electric	<a href="mailto:lana-hpelectric@fuse.net">lana-hpelectric@fuse.net</a>	513-825-7685
Hal Kovert	Kovert Hawkins Architects	<a href="mailto:hal.kovert@koverthawkins.com">hal.kovert@koverthawkins.com</a>	812-282-9554
Amanda Hunsucker	Kovert Hawkins Architects	<a href="mailto:amanda.hunsucker@koverthawkins.com">amanda.hunsucker@koverthawkins.com</a>	812-282-9554

PROPOSAL FORM: PART I  
Form 96 (Revised 2010)

**CONTRACTOR'S BID FOR PUBLIC WORKS**

Prescribed by the State Board of Accounts

CONTRACTORS BID FOR: Manchester Elementary 2017 Renovations  
9387 State Road 48  
Aurora, IN 47001

PART I

**(Part I to be completed for all bids)**

Date (Month, Day, Year): \_\_\_\_\_

Governmental Unit (Owner): *SOUTH DEARBORN COMMUNITY SCHOOLS*

County: \_\_\_\_\_

Bidder (Firm): \_\_\_\_\_

Address: \_\_\_\_\_

City, State, Zip: \_\_\_\_\_

Telephone No.: \_\_\_\_\_

Fax No.: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

Agent of Bidder:  
(if applicable) \_\_\_\_\_

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of *SOUTH DEARBORN COMMUNITY SCHOOLS* (Governmental Unit) in accordance with plans and specifications prepared by Kovert Hawkins Architects, Inc. and their consultants for the sum of:

BASE BID

Lump Sum \_\_\_\_\_ \$ \_\_\_\_\_

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice.

ADDENDA

Acknowledges receipt of:

Addendum No. \_\_\_\_\_ (    ) pages                      Dated \_\_\_\_\_

Addendum No. \_\_\_\_\_ (    ) pages                      Dated \_\_\_\_\_

Addendum No. \_\_\_\_\_ (    ) pages                      Dated \_\_\_\_\_

Addendum No. \_\_\_\_\_ (    ) pages                      Dated \_\_\_\_\_

ALTERNATES

The undersigned also proposes to furnish or to omit all labor and materials necessary to complete work as required by the Alternate Bids, as provided in the specifications as follows:

Alternate No. 1:            *Restroom Renovations*                      ADD    \$ \_\_\_\_\_

Alternate No. 2:            *Old Boiler Removal*                      ADD    \$ \_\_\_\_\_

Alternate No. 3:            *Television Removal*                      ADD    \$ \_\_\_\_\_

Alternate No. 4:            *Office Flooring*                      ADD    \$ \_\_\_\_\_

Alternate No. 5:            *Window Shades*                      ADD    \$ \_\_\_\_\_

Alternate No. 6:            *Gym Bleachers*                      ADD    \$ \_\_\_\_\_

Alternate No. 7:            *Locker Painting*                      ADD    \$ \_\_\_\_\_

Alternate No. 8:            *Parking Expansion*                      ADD    \$ \_\_\_\_\_

ALLOWANCES

By initialing adjacent to amounts below, bidder acknowledges allowance amounts are included in the forgoing bid:

**Cash Allowances** within the **Base Bid** per Section 01210:

Chair Glides	<b>\$ 3,000</b>	initials _____
Classroom Rugs	<b>\$ 3,000</b>	initials _____
Media Center Furniture & Shelving	<b>\$25,000</b>	initials _____

**Contingency Allowance** within the **Base Bid** per Section 01220                      **\$ 100,000**                      initials \_\_\_\_\_

COMPLETION OF WORK

Undersigned guarantees, if awarded contract, to complete the work no later than August 1, 2018

DISCRIMINATION

The Contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the Contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS (if applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

NON-COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to induce anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

GENERAL CONTRACTOR CERTIFICATION

I hereby certify that we have obtained a complete set of construction documents, including all Drawings, Specifications and Addenda, and have reviewed the jobsite to sufficiently familiarize ourselves with the existing conditions.

Dated at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(Name of Organization)

BY \_\_\_\_\_

\_\_\_\_\_  
(Title of Person Signing)

OATH AND AFFIRMATION

I hereby affirm under the penalties for perjury that the facts and information contained in the foregoing bid for public works are true and correct.

Dated at \_\_\_\_\_ this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
(Name of Organization)

BY \_\_\_\_\_

\_\_\_\_\_  
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

Before me, a Notary Public, personally appeared the above-named \_\_\_\_\_ and  
(Name of Person Signing)  
swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

\_\_\_\_\_  
Notary Public

My Commission Expires: \_\_\_\_\_

County of Residence: \_\_\_\_\_

ACCEPTANCE

The above bid is accepted this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

subject to the following conditions: \_\_\_\_\_

\_\_\_\_\_.

Contracting Authority Members:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

END OF SECTION 00301

2SECTION 01110 - SUMMARY OF WORK – SINGLE CONTRACT

PART 1 - GENERAL

1.01 REQUIREMENTS INCLUDED

- A. Section Includes:
  - 1. Work covered by the Contract Documents.
  - 2. Contractor's use of premises.
  - 3. Coordination of work and trades.
  - 4. Owner occupancy during construction.
  - 5. Partial occupancy of completed work.
  - 6. Construction scheduling and phasing.
- B. Project is being bid with construction work under one General Contract for all trades.

1.02 RELATED REQUIREMENTS SPECIFIED ELSEWHERE

- A. The Contract Documents apply to the work of this Section.  
Additional requirements necessary to complete the work may be found in other documents.
- B. Section 00700 - General Conditions
- C. Section 00810 - Supplementary General Conditions
- D. Division 1, General Requirements.

1.03 WORK COVERED BY CONTRACT DOCUMENTS

- A. Provide and pay for all materials, labor, services, equipment, licenses, permits, fees, taxes, and other items necessary for the execution, installation and completion of Work indicated in Contract Documents.
- B. The Work includes coordination with Architect, Owner's Representative, Owner's separate contractors, material suppliers and vendors.

1.04 CONTRACTOR'S USE OF PREMISES

- A. Contractor shall limit his use of premises for work and storage, to allow for Owner's occupancy as identified in this Section.
- B. Assume full responsibility for protection and safekeeping of products stored on premises.
  - 1. Move any stored products that interfere with operations of Owner or other Contractor.
  - 2. Obtain and pay for use of additional storage or work areas needed for operations.
  - 3. Available space for construction field offices and storage sheds is limited to the project site.  
Contractor must arrange for off site storage as required.
- C. Contractor shall allow for any other work outside of this contract, whether by Owner's personnel or Contractors under Owner's separate contracts, to proceed without delay or impediment.

1.05 COORDINATION

- A. Schedule, manage and expedite all work under his Contract, coordinating his work with his sub-contractors, material suppliers, vendors, and trades so that no conflicts of timing or location occur.
  - 1. Work shall progress according to approved progress schedule.  
Schedule dates for incorporation of work, and identify all critical path events and dates.
  - 2. Coordinate and provide all floor, ceiling, roof, and wall sleeves.
  - 3. Provide all cutting, fitting or patching required.
- B. Keep Architect informed on the progress of the work.
  - 1. Close or cover no work until duly inspected and approved.

2. Uncover un-inspected work and after approval, repair and/or replace all work at no cost to Owner.
  3. Notify Architect at least 7 days in advance of utility connections, utility shut-offs, mechanical equipment and oil line cutovers, street or alley closings to allow ample time to receive Owner's written approval of procedure to be followed.
  4. Coordinate all operations with the Architect and Owner. Complete in the minimum amount of time.
- C. Protection:
1. Do not close or obstruct streets, entrance drives, sidewalks or other facilities without permission of the Owner and local authorities.
  2. Conduct operations with minimum interference.
  3. Furnish, erect and maintain barricades, warning lights, signs and guards as may be required.

1.06 OWNER OCCUPANCY

- A. Owner will make available up to 4 classrooms at a time, if contractor desires to work in the building during regular school hours.
- B. Owner will vacate all construction areas beginning May 25, 2018 to August 1, 2018. During this time, Contractor will have full access to all project areas and may schedule work trades as desired.
- C. Owner (teachers and staff) will remove all teaching materials, personal items and computers from areas prior to start of work in those spaces. Contractor will be required to move all loose furniture (desks, chairs, bookcases, storage cabinets, etc.) out as required for the work within this space. Contractor will be required to move this same furniture back into the spaces after work is complete.
- D. Provide temporary heating and ventilation, temporary dust partitions, plastic sheeting, plywood sheeting, and any other means required to protect all elements of existing building from damage or deterioration during construction.

1.07 CONSTRUCTION SCHEDULING AND PHASING

- A. Owner intends to award the Contract and issue a Notice to Proceed within 30 days after bid opening.
- B. Contractor shall prepare material orders and begin preparation of shop drawings and submittals immediately thereafter.
- C. Contractor may purchase materials at anytime to secure competitive prices. Owner will pay for offsite stored materials per the terms outlined in these specifications
- C. **Contractor must begin on-site work no later than May 25, 2018 and achieve Substantial Completion by August 1, 2018.**

END OF SECTION 01110

SECTION 09840 – LAPENDARY ACOUSTIC PANELS

PART 1 - GENERAL

1.01 WORK INCLUDED

- A. Lapendary acoustical panels as shown on the Drawings and specified herein.

1.02 SUBMITTALS

- A. Submit the following:
1. Product Data: Note product data sheets for each type of panel, including edge and suspension mounting. Review length, thickness, and size for installed products.
  2. Samples/color: Provide a full size sample after bid award and prior to installation. Sample is actual size product, stretcher bar, attachment and clamps used. Provide color selections as noted.
  3. Shop Drawings: Provide shop drawing markup of suspension methods, attachment points, and sample of rated suspension hardware to be used. Indicate actual method, location and actual product used on shops for this specific project.
  4. Field Measurements: Confirm locations by field measurements before fabrication, indicating on shops. Coordination shops show intersections with adjacent work. Indicate spacing and depth anticipated and coordinate with fire sprinklers, lights, HVAC, and building steel. Never obscure fire devices.
  5. Product certificates and test reports.
    - a. Provide product fire ratings and test data.
    - b. Provide acoustical testing reports including absorption coefficient by octave measurements and test methods used for acoustical tests. NRC alone shall not be the sole determining value indicated.
    - c. Provide ratings of attachments for safe overhead suspension. Manufacturer shall supply attachments ("Caddy Clamp") recommended or contractor shall denote otherwise.

PART 2 - PRODUCTS

2.01 ACCEPTABLE MANUFACTURERS

- A. Provide products, as approved by the Architect, from one of the following approved manufacturers:
1. "MBI" Lapendary Panels #4000PS-1010-S or approved equal.
  2. Kinetics Noise Control

2.02. CONSTRUCTION

1. Panel Construction: Manufacturer's standard panel construction consisting of fire rated PVC surface finish filled with fiberglass insulation in rectangular shapes. Supply with manufacturer's aluminum stiffener.
2. Facing Material: PVC, perforated one side and shall face down for that side.
3. Core: 1.2# fiberglass minimum.
4. Size and Thickness: 1" thick by 4' wide. Length per drawings to control depths and to provide uniform drape and festoon
5. Quantity per drawings.
6. Acoustical Performance: NRC 0.85 or above.

7. Panel Edge: Natural shape, heat sealed, or sewn edges. Verify edges prior to install for complete closure with no gaps or openings that lead to separation. Provide a minimum 1/2" tab on all edges to prevent opened edges. Do not install panels that have edges with no tab or extension where sewn edges or heat seal is compromised.

### PART 3 - EXECUTION

#### 3.01 INSTALLATION

- A. Install catenary sound absorptive ceiling panels in locations indicated with horizontal surfaces and edges plumb, top edges level and in alignment with other panels, edges flush, low point of catenaries level and even with adjacent panels, and adjusted uniformly to fit adjoining work accurately at borders and at penetrations.
- B. Anchor cable securely to building. It is the intent of specification to mount via manufacturer supplied stiffener with pre-made (swaged) steel cable loop and caddy clamps, or equal.
- C. Use secure and rated attachments and lifting methods, per ASME standards for safe overhead suspensions in a public area.
- D. Clean panels on completion of installation. Remove dust and other foreign materials, top and bottom, according to manufacturer's written instructions.
- E. Replace sound absorptive ceiling panels that cannot be cleaned and repaired before time of Substantial Completion.
- F. Workmanship: The acoustical system shall be installed only by a qualified, experienced contractor. All work shall be completed in a professional and timely workman like manner. All panels shall be properly installed and left in a clean condition. Contractor shall remove and dispose of shipping containers and debris regularly.
- G. Final Adjustment: Provide for a final adjustment, for panels that is low, not symmetrical, not uniformly spaced or out of alignment more than 4 inches, and prior to access not being available or a lift being absent from the site.

#### SUBMITTAL CHECK LIST

1. Manufacturer's Literature
2. Shop Drawings

END OF SECTION 09840

SECTION 09915 - ELECTROSTATIC PAINTING

PART 1 – GENERAL

1.01 WORK INCLUDED

- A. Extent of electrostatic painting work is shown on the Drawings and specified herein.
- B. On-site process of drawing paint to metal surfaces via electro-magnetic attraction by placing an electrical charge to the paint and grounding the target metal. Process shall result in a factory-fresh and durable finish free of drips or spatters, with virtually no overspray.
- C. Provide electrostatic paint gun and equipment as required to accomplish this scope of work.

1.02 SUBMITTALS

- A. Product Data:  
Submit manufacturer's technical information including paint label analysis and application instructions for each material proposed for use.
- B. Samples:  
Submit samples for Architect's review of color and texture only.
- C. Paint Color Chips:  
If colors are selected, submit actual paint samples on cardstock to match colors and finishes indicated. If colors are not selected, submit complete range of available paint colors, in form of detachable color chips. If finishes are not selected, Architect will select from complete range of those available.
- D. Materials Safety and Data Sheets (MSDS).
- E. Test Areas:  
Paint test sample area of each differing material to be painted as directed by Architect.

1.03 DELIVERY, STORAGE AND HANDLING

- A. Deliver materials to job site in original, new and unopened packages and containers bearing manufacturer's name and label, and the following information:
  - Name or title of material.
  - Manufacturer's stock number and date of manufacture.
  - Manufacturer's name.
  - Contents by volume, for major pigment and vehicle constituents.
  - Thinning instructions.
  - Application instructions.
  - Color name and number.

1.04 JOB CONDITIONS

- A. Provide adequate ventilation at all times for proper drying.

1.05 MAINTENANCE MATERIALS AND DATA

- A. See Specification Section 01781- Closeout Maintenance Materials.
- B. Submit maintenance data under provisions of Section 01780.
- C. Maintenance materials for electrostatic paint shall be considered to be same as specified for "paint".

PART 2 - PRODUCTS

2.01 COLOR AND FINISHES

- A. Color Pigments:  
Pure, non-fading, applicable types to suit substrates and service indicated.
- B. Paint Coordination:  
Provide finish coats which are compatible with metal material to be electrostatically painted.

2.02 MATERIAL

- A. Provide best quality grade of various types of coatings as regularly manufactured by acceptable paint materials manufacturers. Materials not displaying manufacturer's identification as a standard, "top-of-the-line" product will not be acceptable.
- B. Proprietary names used to designate colors or materials are not intended to imply that products of named manufacturers are required to exclusion of equivalent products of other manufacturers.
- C. Acceptable Manufacturers:  
Provide materials produced by one of the following manufacturers, or an approved equivalent:
  - 1. Porter Paints Co.
  - 2. Sherwin-Williams.

2.03 INTERIOR PAINT SYSTEMS

- A. Two-component epoxy coating.
  - 1. Gloss finish unless otherwise indicated.

2.04 EXTERIOR PAINT SYSTEMS

- A. Industrial urethane coating.
  - 1. Gloss finish unless otherwise indicated.
  - 2. UV resistant against fading and weathering.
  - 3. Withstand exposure to the elements without flaking or peeling.

PART 3 - EXECUTION

3.01 INSPECTION

- A. Examine areas and conditions under which painting work is to be applied and do not proceed with work until unsatisfactory conditions have been corrected.
- B. Do not paint over dirt, rust, scale, grease, moisture, scuffed surfaces, or conditions otherwise detrimental to formation of a durable paint film.

3.02 SURFACE PREPARATION

- A. Perform preparation and cleaning procedures in accordance with paint manufacturer's instructions and as herein specified, for each particular substrate condition.
- B. Remove hardware, hardware accessories, machined surfaces, plates, lighting fixtures, and similar items in place and not to be finish-painted, or provide surface-applied protection prior to surface preparation and painting operations. Remove, if necessary, for complete painting of items and adjacent surfaces. Following completion of painting of each space or area, reinstall removed items.

- C. Clean surfaces to be painted before applying paint or surface treatments. Remove oil and grease prior to mechanical cleaning. Program cleaning and painting so that contaminants from cleaning process will not fall onto wet, newly painted surfaces.

3.03 MATERIALS PREPARATION

- A. Mix and prepare painting materials in accordance with manufacturer's directions.
- B. Store materials not in actual use in tightly covered containers. Maintain containers used in storage, mixing and application of paint in a clean condition, free of foreign materials and residue.

3.04 APPLICATION

- A. General:
  - 1. Apply paint in accordance with manufacturer's directions.
  - 2. Apply additional coats when undercoats, stains or other conditions show through final coat of paint, until paint film is of uniform finish, color and appearance. Give special attention to insure that surfaces, including edges, corners, crevices, welds and exposed fasteners receive a dry film thickness equivalent to that of flat surfaces.
  - 3. Unless indicated otherwise, paint all interior surfaces and all exposed exterior surfaces.
- B. Scheduling Painting:
  - 1. Apply first-coat material to surfaces that have been cleaned, pretreated or otherwise prepared for painting as soon as practicable after preparation and before subsequent surface deterioration.
  - 2. Allow sufficient time between successive coatings to permit proper drying.
- C. Apply materials at not less than manufacturer's recommended spreading rate, to establish a total dry film thickness as indicated or if not indicated, as recommended by coating manufacturer.
- D. Completed Work:  
Match approved samples for color, texture and coverage. Remove, refinish or repaint work not in compliance with specified requirements.

3.05 CLEAN-UP AND PROTECTION

- A. Clean-up:
  - 1. During progress of work remove from site discarded paint materials, rubbish, cans and rags at end of each work day. **DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.**
  - 2. Upon completion of painting work, clean window glass and other paint-spattered surfaces.
- B. Protection:
  - 1. Protect work of other trades, whether to be painted or not, against damage by painting and finishing work. Correct any damage by cleaning, repairing or replacing, and repainting.
  - 2. Provide "Wet Paint" signs as required to protect newly-painted finishes. Remove temporary protective wrappings provided by others for protection of their work, after completion of painting operations.
  - 3. At the completion of work of other trades, touch-up and restore all damaged or defaced painted surfaces.

SUBMITTAL CHECKLIST

1. Manufacturer's Product Data.
2. Samples.
3. Paint Color Chips.
4. Materials Safety and Data Sheets (MSDS).
5. Test Areas.

END OF SECTION 09915

SECTION 11132 - PROJECTION SCREENS

PART 1 - GENERAL

1.01 WORK INCLUDED

- A. Manually Operated Projection Screens as shown on the Drawings and specified herein.

1.02 RELATED WORK SPECIFIED ELSEWHERE

Section 06100 - Rough Carpentry

1.03 SUBMITTALS

- A. Submit the following:
1. Manufacturer's Literature: Materials description and installation and operating instructions.
  2. Shop Drawings: Show complete details of screen, including equipment, dimensions and field measurements.

1.04 ACCEPTABLE MANUFACTURERS

- A. Provide products, as approved by the Architect, from one of the following approved manufacturers:
1. "Da-Lite Screen Company, Inc."
  2. "Draper Screen Company"
  3. "Knox Manufacturing Company"

PART 2 - PRODUCTS

2.01 TYPE OF SCREENS

- A. Manually Operated Projection Screens:
1. Provide one of the following approved products:
    - a. "Da-Lite", Model B.
  2. Video (NTSC 4:3) format.
  3. 37-1/2 inch height x 67 inch width, wall/ceiling mounting type.
  4. Viewing surface shall be fiberglass matt white, flame retardant and mildew resistant.
  5. Roller shall be of rigid metal with spline; groove construction to prevent separation of fabric from roller. Roller shall be designed so that fabric can be replaced without the use of tools, Viewing surface shall be enclosed in a steel case, flat back design, minimum 22 gage. Case shall have specially designed closure to eliminate friction between viewing surface and metal parts. To have 16 gage deep drawn chrome plated end caps with integral roller brackets. End caps shall conceal roller ends.
  6. Furnish case with matching universal mounting brackets to enable surface mounting to wall or concealed attachment in ceiling. Bottom of viewing surface shall be securely mounted in tubular steel slat, finished to match case, with ends protected by shatterproof vinyl caps.
  7. Screen shall include pull cord and cord cleat.

PART 3 - EXECUTION

3.01 INSTALLATION

- A. Examine all surfaces and openings and verify dimensions of in-place and subsequent construction. Installation of screens constitutes acceptance of the existing conditions.
- B. Install screens in accordance with manufacturer's instructions and approved shop drawings.

- C. Upon completion of the screen installation, instruct Owner's personnel in the operation and maintenance of the screens.

SUBMITTAL CHECK LIST

1. Manufacturer's Literature
2. Shop Drawings

END OF SECTION 11132

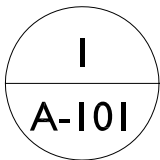
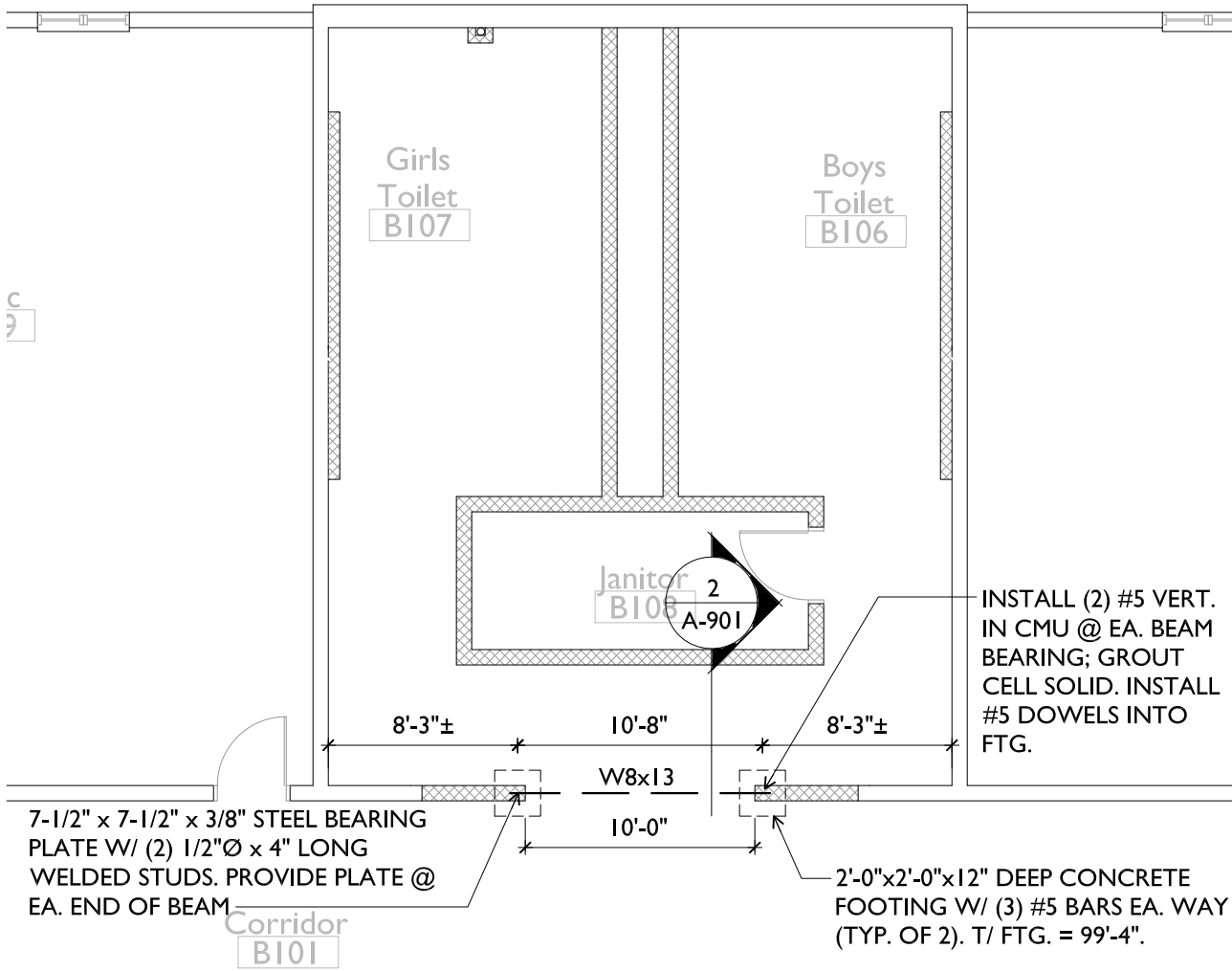
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Revisions	Drawn	HG
1		
2	Checked By	HK
3	Project No.	1649.02
4	Date	11/13/2017
5		
6		

Certified By



# Restroom Lintel Plan

full size plot scale: 1/8"=1'-0"

0 4'-0" 8'-0"

2017 Renovations  
**Manchester Elementary School**

9387 State Road 48  
Aurora, Indiana 47001

South Dearborn Community School Corporation

Sheet

**AD-2a**

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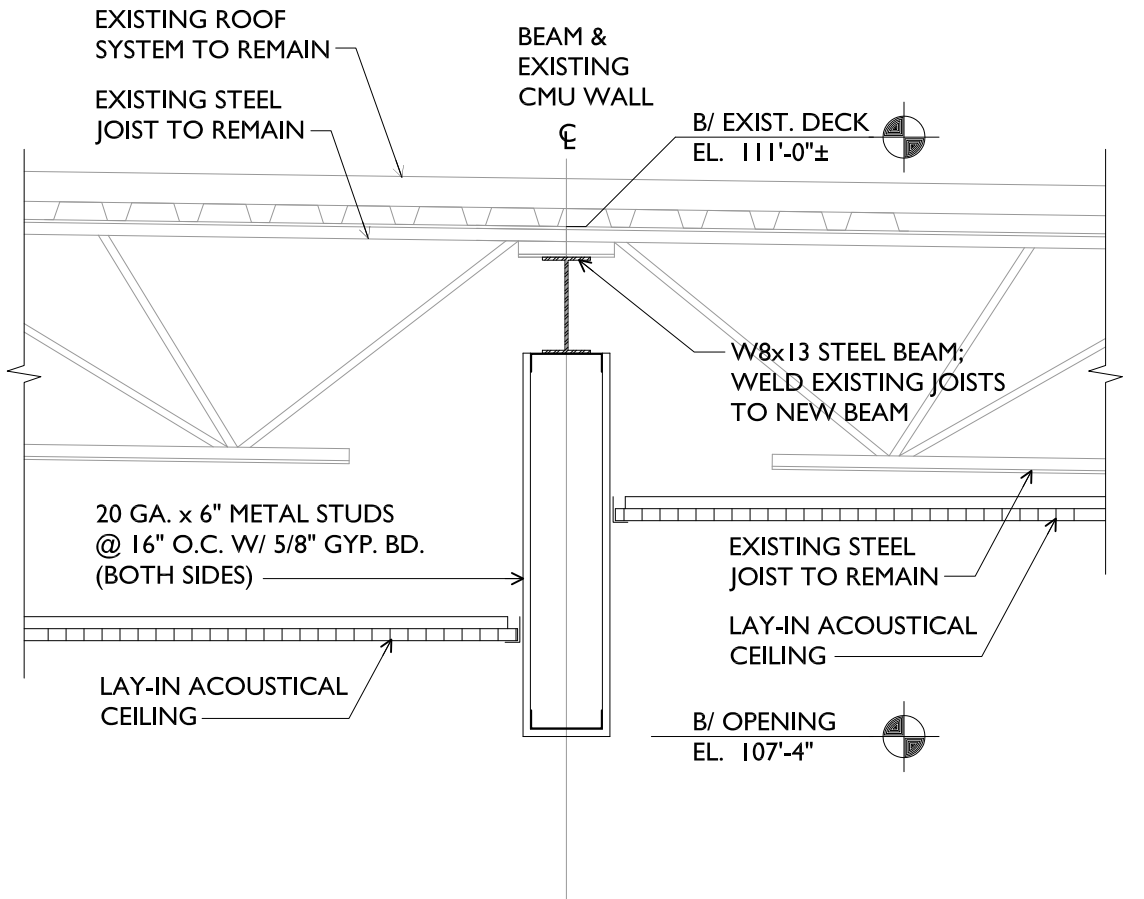
Revisions	1	2	3	4	5	6
Drawn						
Checked By			HK			
Project No.			1649.02			
Date			11/13/2017			

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**AD-2b**

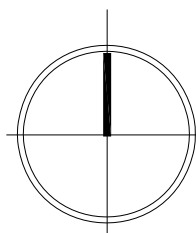


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A-901

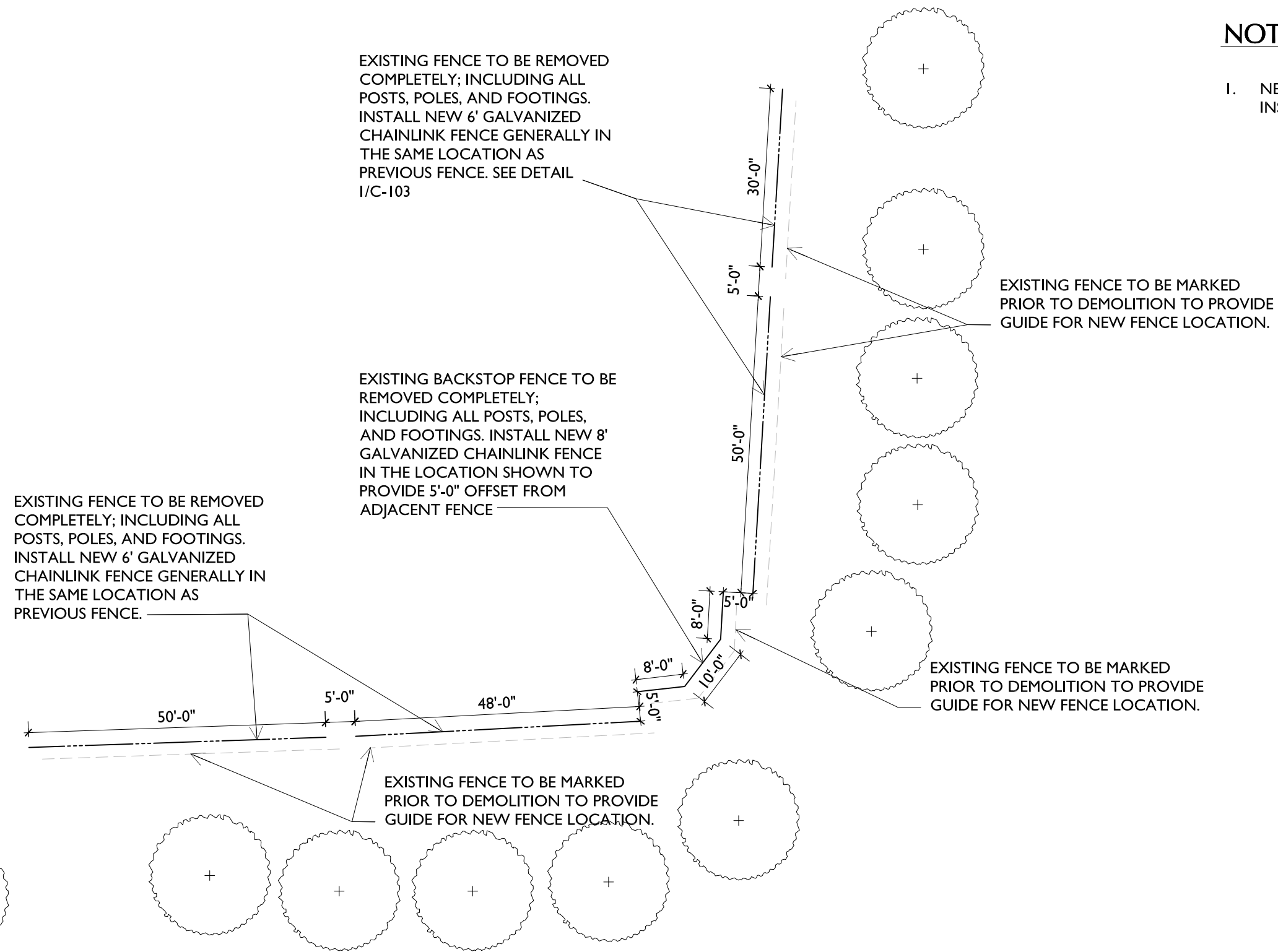
## Restroom Lintel Section

full size plot scale: 3/4"=1'-0"



# Revised South Fence Layout Plan


full size plot scale: 1" = 20'-0"



## NOTES

- NEW FENCE TO BE PLACED 3'-0" INSIDE OF EXISTING FENCE.



Drawn	OB
Checked By	HIG
Project No.	1649.02
Date	11/13/2017
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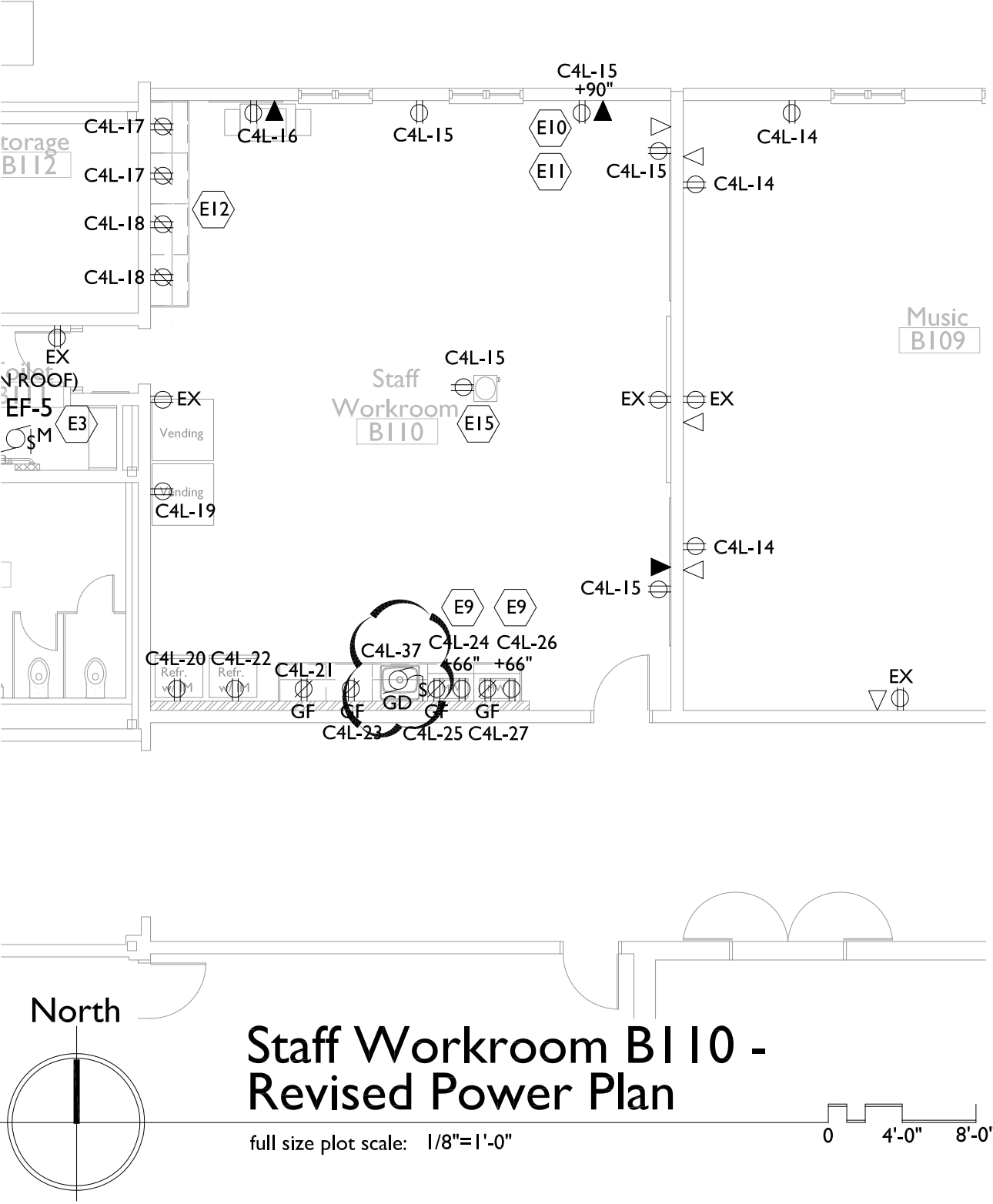


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Revisions	1	2	3	4	5	6
Drawn						
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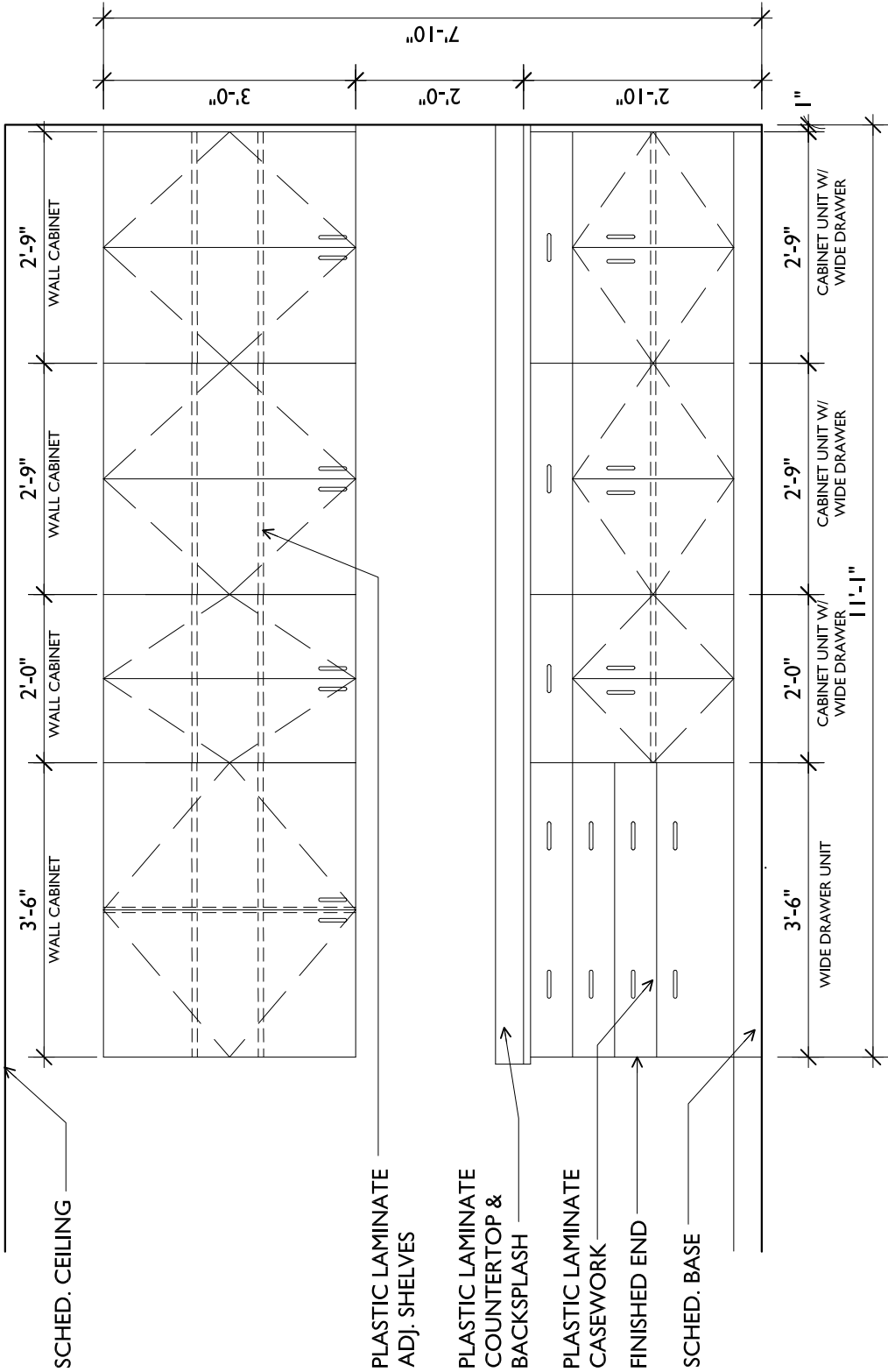
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Revisions	Drawn	AH
1	Drawn	AH
2	Checked By	HK
3	Project No.	1200.01
4	Date	11/13/2017
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6		
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**AD-2e**



# Staff Lounge Casework Elevation

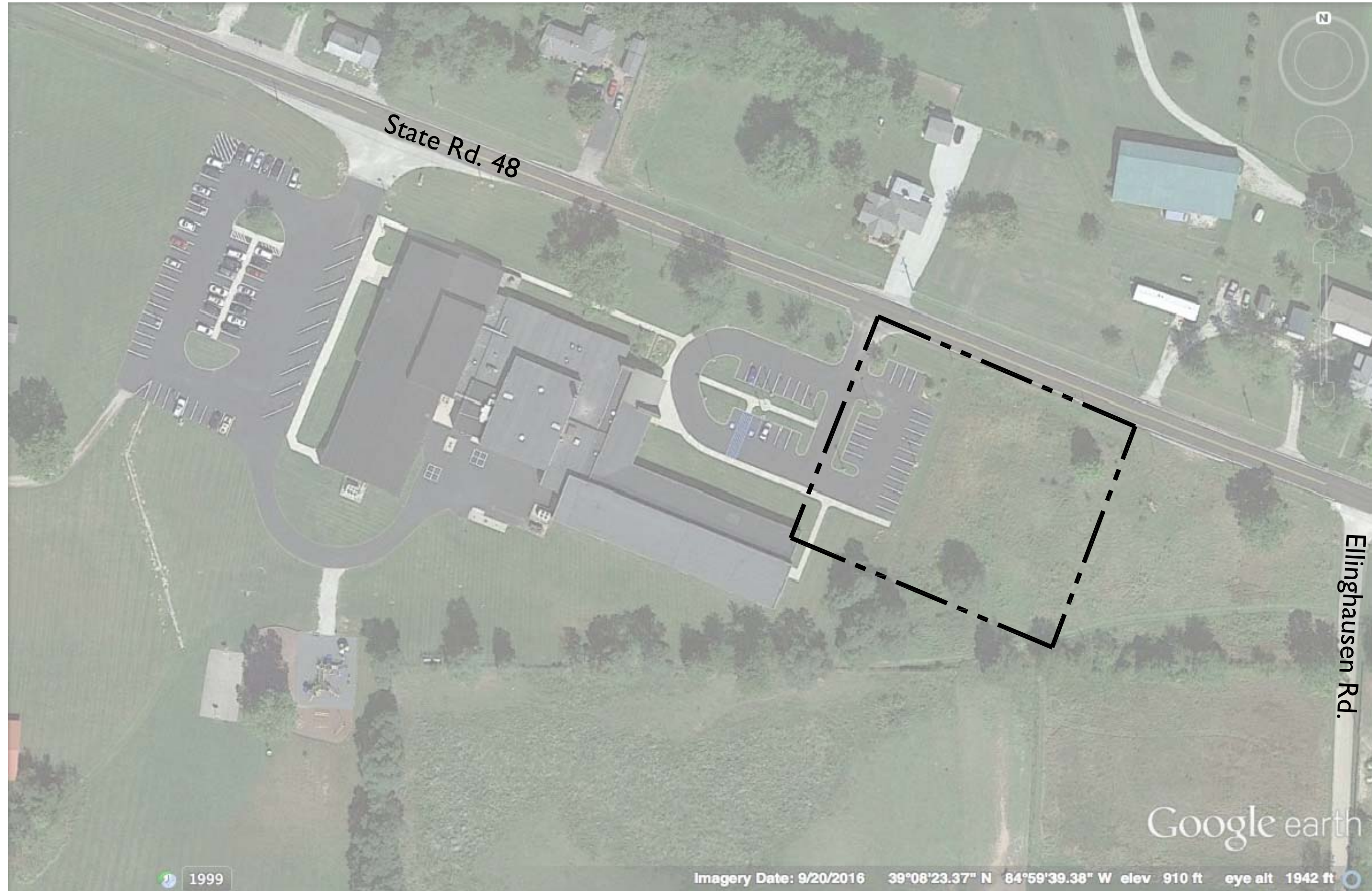
full size plot scale: 1/2"=1'-0"

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Q-202

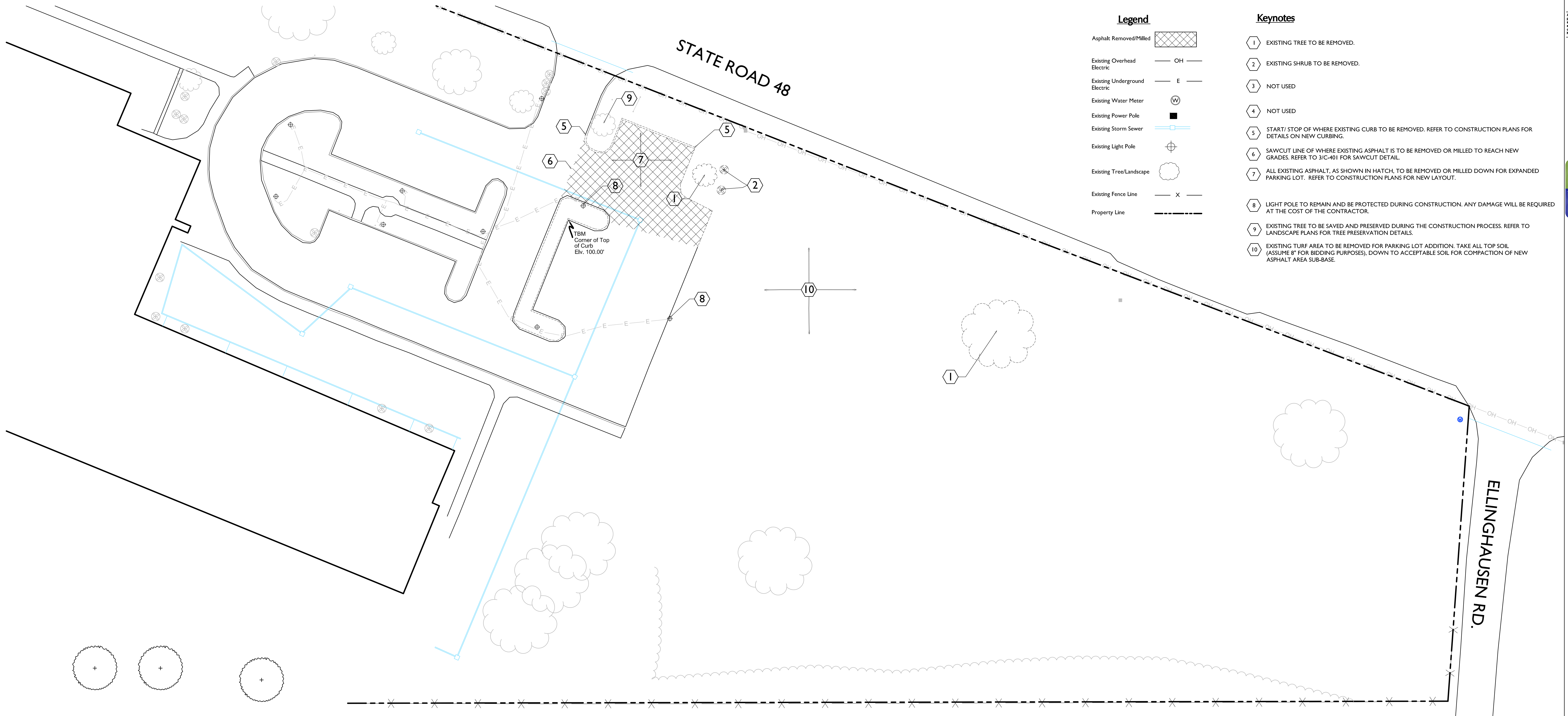
1"=1"

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Site Location Map

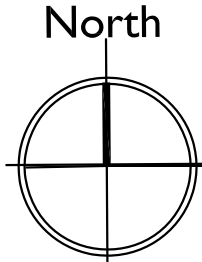


**Legend**

- Asphalt Removed/Milled
- Existing Overhead Electric
- Existing Underground Electric
- Existing Water Meter
- Existing Power Pole
- Existing Storm Sewer
- Existing Light Pole
- Existing Tree/Landscape
- Existing Fence Line
- Property Line

**Keynotes**

- 1 EXISTING TREE TO BE REMOVED.
- 2 EXISTING SHRUB TO BE REMOVED.
- 3 NOT USED
- 4 NOT USED
- 5 START/ STOP OF WHERE EXISTING CURB TO BE REMOVED. REFER TO CONSTRUCTION PLANS FOR DETAILS ON NEW CURBING.
- 6 SAWCUT LINE OF WHERE EXISTING ASPHALT IS TO BE REMOVED OR MILLED TO REACH NEW GRADES. REFER TO 3/C-401 FOR SAWCUT DETAIL.
- 7 ALL EXISTING ASPHALT, AS SHOWN IN HATCH, TO BE REMOVED OR MILLED DOWN FOR EXPANDED PARKING LOT. REFER TO CONSTRUCTION PLANS FOR NEW LAYOUT.
- 8 LIGHT POLE TO REMAIN AND BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE WILL BE REQUIRED AT THE COST OF THE CONTRACTOR.
- 9 EXISTING TREE TO BE SAVED AND PRESERVED DURING THE CONSTRUCTION PROCESS. REFER TO LANDSCAPE PLANS FOR TREE PRESERVATION DETAILS.
- 10 EXISTING TURF AREA TO BE REMOVED FOR PARKING LOT ADDITION. TAKE ALL TOP SOIL (ASSUME 8" FOR BEDDING PURPOSES), DOWN TO ACCEPTABLE SOIL FOR COMPACTION OF NEW ASPHALT AREA SUB-BASE.



**Addendum 2  
Basebid Demolition Plan**

full size plot scale: 1"=20'-0"

0 10'-0" 20'-0"

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Drawn	CB
Checked By	MG
Project No.	164902
Date	10/12/2017

Revisions

1	
2	
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5	
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Certified By

*William D. J. [Signature]*

Professional Seal: WILLIAM D. J. KOVERT, L.L.C. 000004, LANDSCAPE ARCHITECT, INDIANA

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**AD-2f**

Plant Schedule						
Key	Botanical Name	Common Name	Qty.	Size	Spacing	Comments
Trees						
NS	Nyssa sylvatica	Black Tupelo	2	2" CAL.	AS SHOWN	
QC	Quercus coccinea	Scarlet Oak	3	2" CAL.	AS SHOWN	

PROJECT DATA

SITE AREA (Total Site Disturbance):  
EXISTING ZONING:  
ADJOINING PROPERTY ZONING:  
EXISTING USE:  
PROPOSED DEVELOPMENT:

PARKING DATA  
EXISTING PARKING:  
ADDED PARKING SPACES:  
TOTAL PARKING:

SITE LIGHTING  
EXISTING LIGHT POLES  
(Keynote #9)  
  
EXISTING LIGHT POLE  
(Keynote #10)

Note: All lighting to be shielded and shine down and away from oncoming traffic, neighboring properties and buildings per the land development code. See specification for exact lighting fixture and replacement details.

= 0.95 ± ACRES (41,476 SF) TOTAL  
= AGRICULTURAL (A)  
= AGRICULTURAL (A)  
= ELEMENTARY SCHOOL  
= EXPANSION OF EXISTING PARKING LOT  
  
= 90 SPACES (TWO PARKING AREAS)  
= 59 SPACES ADDED  
= 149 SPACES

Legend

New Asphalt

Existing Overhead Electric

Existing Underground Electric

Existing Water Meter

Existing Power Pole

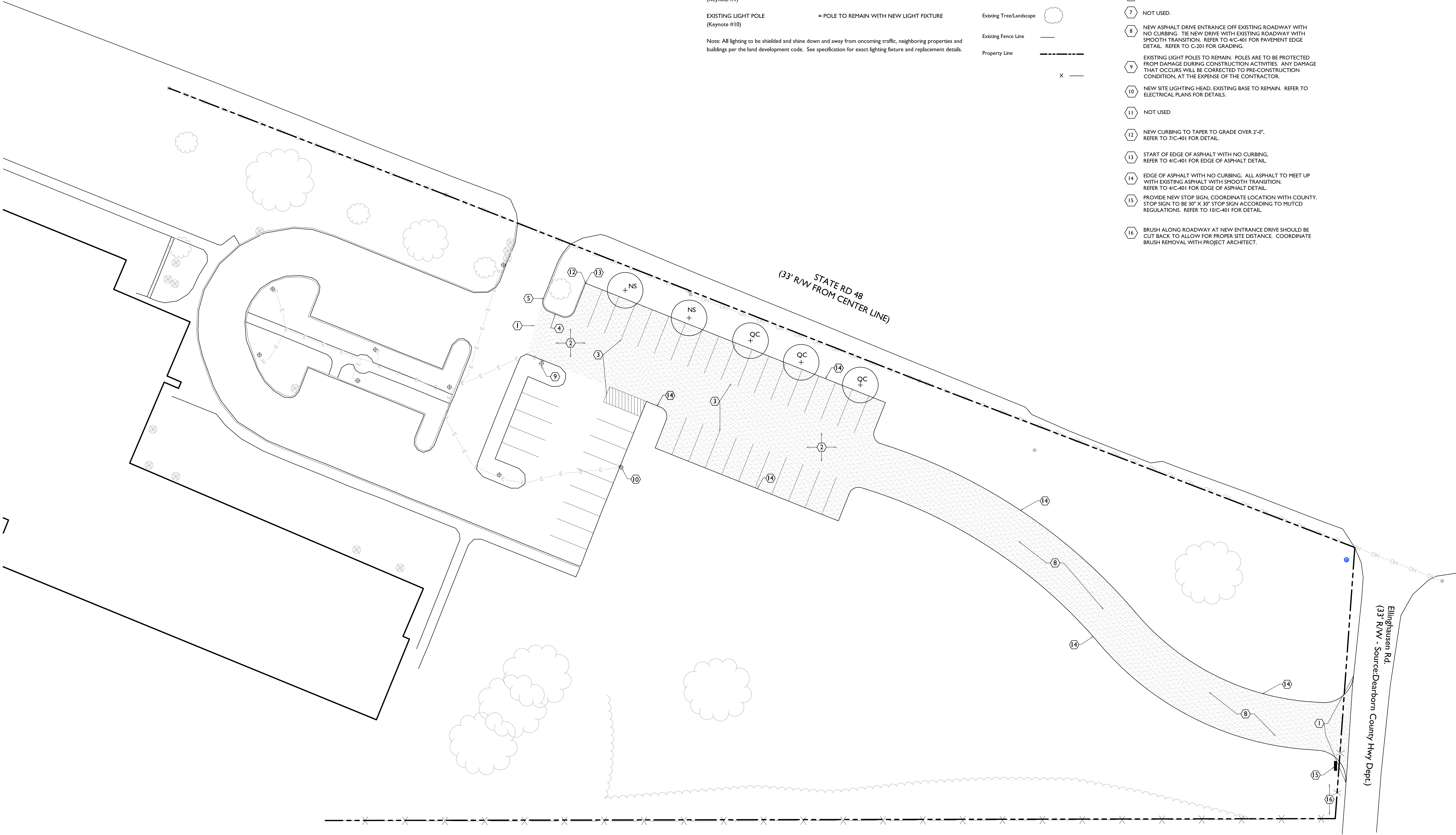
Existing Light Pole

Existing Tree/Landscape

Existing Fence Line

Property Line

- Keynotes
- 1 SAW CUT LINES FOR NEW ASPHALT SURFACE. NEW ASPHALT SURFACE TO MEET EXISTING PAVEMENT WITH SMOOTH TRANSITION.
  - 2 NEW ASPHALT PAVING. REFER TO 2/C-401 FOR ASPHALT DETAIL.
  - 3 NEW STRIPING OVER PARKING LOT EXPANSION, REFER TO DETAIL 1/C-401.
  - 4 NEW CONTINUOUS SUP-FORM CURBING AT PARKING LOT ADDITION, REFER TO DETAIL 5/C-401.
  - 5 NEW CURBING TO MEET UP WITH EXISTING CURBING WITH SMOOTH TRANSITION.
  - 6 NOT USED
  - 7 NOT USED.
  - 8 NEW ASPHALT DRIVE ENTRANCE OFF EXISTING ROADWAY WITH NO CURBING. TIE NEW DRIVE WITH EXISTING ROADWAY WITH SMOOTH TRANSITION. REFER TO 4/C-401 FOR PAVEMENT EDGE DETAIL. REFER TO C-201 FOR GRADING.
  - 9 EXISTING LIGHT POLES TO REMAIN. POLES ARE TO BE PROTECTED FROM DAMAGE DURING CONSTRUCTION ACTIVITIES. ANY DAMAGE THAT OCCURS WILL BE CORRECTED TO PRE-CONSTRUCTION CONDITION, AT THE EXPENSE OF THE CONTRACTOR.
  - 10 NEW SITE LIGHTING HEAD. EXISTING BASE TO REMAIN. REFER TO ELECTRICAL PLANS FOR DETAILS.
  - 11 NOT USED
  - 12 NEW CURBING TO TAPER TO GRADE OVER 2'-0". REFER TO 7/C-401 FOR DETAIL.
  - 13 START OF EDGE OF ASPHALT WITH NO CURBING. REFER TO 4/C-401 FOR EDGE OF ASPHALT DETAIL.
  - 14 EDGE OF ASPHALT WITH NO CURBING. ALL ASPHALT TO MEET UP WITH EXISTING ASPHALT WITH SMOOTH TRANSITION. REFER TO 4/C-401 FOR EDGE OF ASPHALT DETAIL.
  - 15 PROVIDE NEW STOP SIGN. COORDINATE LOCATION WITH COUNTY. STOP SIGN TO BE 30" X 30" STOP SIGN ACCORDING TO MUTCD REGULATIONS. REFER TO 10/C-401 FOR DETAIL.
  - 16 BRUSH ALONG ROADWAY AT NEW ENTRANCE DRIVE SHOULD BE CUT BACK TO ALLOW FOR PROPER SITE DISTANCE. COORDINATE BRUSH REMOVAL WITH PROJECT ARCHITECT.



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North

Addendum 2  
Basebid Site Development Plan

full size plot scale: 1"=20'-0"

0 10'-0" 20'-0"

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Revisions

1	2	3	4	5	6
Drawn	Checked By	Project No.	Date		
1	NG	164902	10/12/2016		

Created By: *W. D. J. J.*

2017 Renovations

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1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS THROUGHOUT SITE.
2. ANY DIMENSION QUESTIONS IN THE FIELD MUST BE CONFIRMED BY PROJECT ARCHITECT. IT IS THE ROLE OF THE CONTRACTOR TO VERIFY AND PLACE ALL SITE ELEMENTS ACCORDING TO THESE PLANS.
3. IT IS THE ROLE OF THE CONTRACTOR TO VERIFY AND PLACE ALL SITE ELEMENTS ACCORDING TO THESE PLANS.

STATE RD 48  
(33' R/W FROM CENTER LINE)

Ellinghausen Rd.  
(33 R/W - Source: Dearborn County Hwy Dept.)

North

A compass rose with four cardinal directions labeled: North (top), South (bottom), East (right), and West (left). The rose is a circle with a cross inside, and the labels are placed outside the circle at their respective positions.

## Addendum 2

### Basebid Site Dimension Plan

full size plot scale: 1"=20'-0"

full size plot scale: 1"=20'-0"

0 10'-0" 20'-0"

## 2017 Renovations

# Manchester Elementary School

9387 State Road 48  
Aurora, Indiana 47001

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South Dearborn Community School Corporation

Sheet

AD-2h

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Drawn	OB
Checked By	MG
Project No.	1649.02
Date	10/12/2017

Revisions

1

2

3

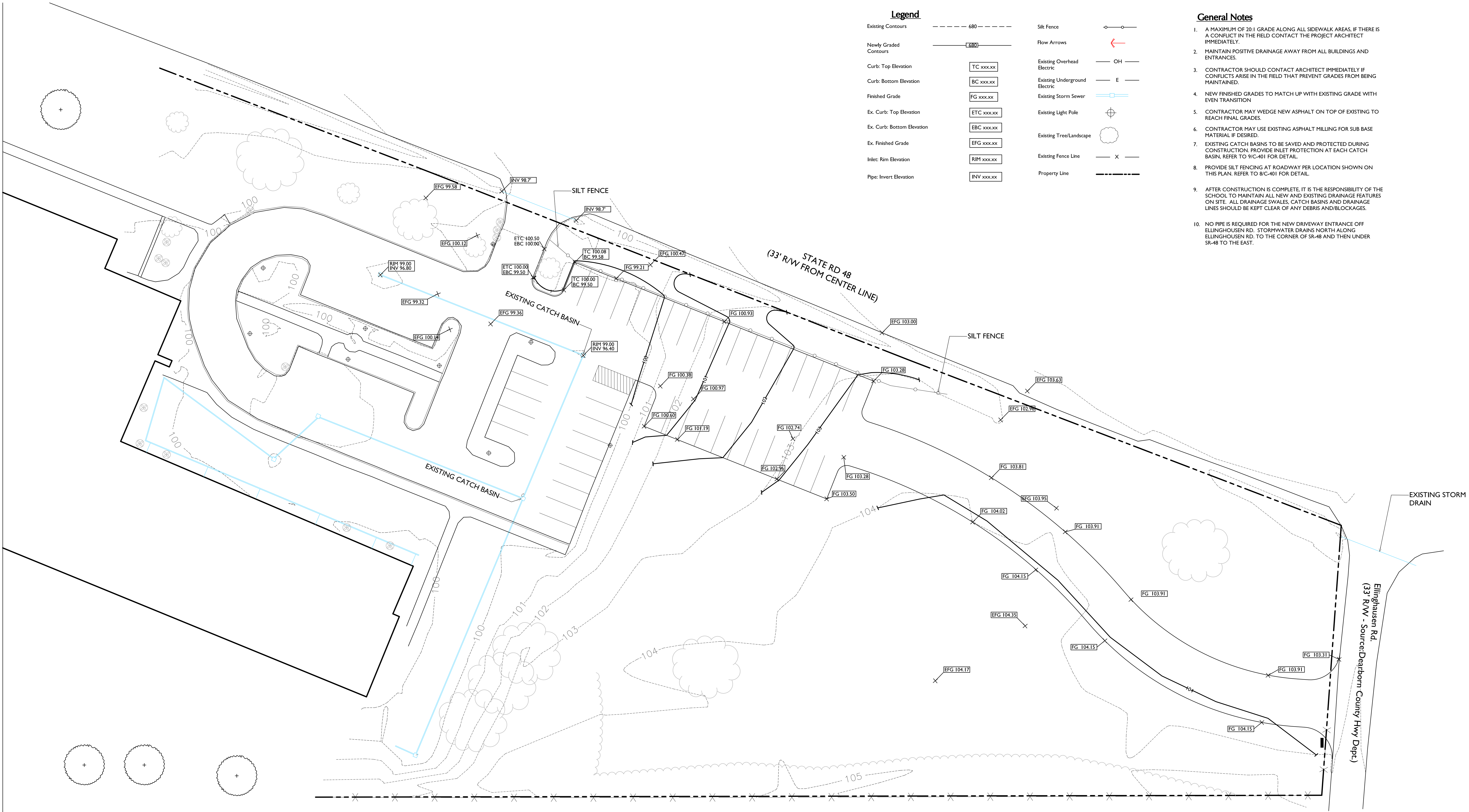
4

5

6

STATE OF  
LA21300004  
REGISTERED  
MATTHEW D. GULLO  
CT

Certified By Walter D. J. De



Legend

Existing Contours	---	680	---	Silt Fence	—○—○—
Newly Graded Contours	---	680	---	Flow Arrows	←
Curb: Top Elevation	TC	xxx.xx		Existing Overhead Electric	— OH —
Curb: Bottom Elevation	BC	xxx.xx		Existing Underground Electric	— E —
Finished Grade	FG	xxx.xx		Existing Storm Sewer	—
Ex. Curb: Top Elevation	ETC	xxx.xx		Existing Light Pole	⊕
Ex. Curb: Bottom Elevation	EBC	xxx.xx		Existing Tree/Landscape	⊙
Ex. Finished Grade	EFG	xxx.xx		Existing Fence Line	— X —
Inlet: Rim Elevation	RIM	xxx.xx		Property Line	---
Pipe: Invert Elevation	INV	xxx.xx			

General Notes

1. A MAXIMUM OF 20:1 GRADE ALONG ALL SIDEWALK AREAS. IF THERE IS A CONFLICT IN THE FIELD CONTACT THE PROJECT ARCHITECT IMMEDIATELY.
2. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ENTRANCES.
3. CONTRACTOR SHOULD CONTACT ARCHITECT IMMEDIATELY IF CONFLICTS ARISE IN THE FIELD THAT PREVENT GRADES FROM BEING MAINTAINED.
4. NEW FINISHED GRADES TO MATCH UP WITH EXISTING GRADE WITH EVEN TRANSITION.
5. CONTRACTOR MAY WEDGE NEW ASPHALT ON TOP OF EXISTING TO REACH FINAL GRADES.
6. CONTRACTOR MAY USE EXISTING ASPHALT MILLING FOR SUB BASE MATERIAL IF DESIRED.
7. EXISTING CATCH BASINS TO BE SAVED AND PROTECTED DURING CONSTRUCTION. PROVIDE INLET PROTECTION AT EACH CATCH BASIN. REFER TO 9/C-401 FOR DETAIL.
8. PROVIDE SILT FENCING AT ROADWAY PER LOCATION SHOWN ON THIS PLAN. REFER TO 8/C-401 FOR DETAIL.
9. AFTER CONSTRUCTION IS COMPLETE, IT IS THE RESPONSIBILITY OF THE SCHOOL TO MAINTAIN ALL NEW AND EXISTING DRAINAGE FEATURES ON SITE. ALL DRAINAGE SWALES, CATCH BASINS AND DRAINAGE LINES SHOULD BE KEPT CLEAR OF ANY DEBRIS AND BLOCKAGES.
10. NO PIPE IS REQUIRED FOR THE NEW DRIVEWAY ENTRANCE OFF ELLINGHOUSE RD. STORMWATER DRAINS NORTH ALONG ELLINGHOUSE RD. TO THE CORNER OF SR-48 AND THEN UNDER SR-48 TO THE EAST.